



Public Notice Details

Planning Application Details

| | |
|-----------------------|------------|
| Application No | DA 2400078 |
|-----------------------|------------|

Property Details

| | |
|--------------------------|--------------------------|
| Property Location | 99 High Street, Oatlands |
|--------------------------|--------------------------|

Application Information

| | |
|---|---|
| Application Type | Discretionary Development Application |
| Development Category | Concrete finish to courtyard & service area |
| Advertising Commencement Date | 16/07/2024 |
| Advertising Closing Period | 30/07/2024 |
| <small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small> | |

Enquiries regarding this Application can be made via Southern Midlands Council at (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the author's full name, contact number, and postal address and must be received by the advertising closing date.

SMC - KEMPTON

RECEIVED

05.06.24



APPLICATION FOR PLANNING PERMIT – USE AND DEVELOPMENT Commercial, Industrial, Forestry and other Non- Residential development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Owner / s Name Lake Frederick Inn Pty Ltd and The Crown

Postal Address C/- The Applicant Phone No: Fax No:

Email address

Applicant Name (if not owner) Sarah Silva - ERA Planning & Environment

Postal Address 125A Elizabeth Street, Hobart, TAS, 7000 Phone No: 6165 0443 Fax No:

Email address: sarah@eraplanning.com.au

Description of proposed use and/or development:

Address of new use and development: 99 High Street, Oatlands TAS 7120

Certificate of Title No Volume No 240022 Lot No: 1

Description of Use No new use proposed.

Development on site • concrete finish in both the courtyard and service yard areas

current use of land and building Existing distillery (resource processing).

Refer Definitions in Clause 8.2 of the Southern Midlands Planning Scheme 2015
Attach additional information if required.

E.g. Are there any existing buildings on this title?
If yes, what is the main building used as?

Is the property Heritage Listed

Please tick ✓ answer

Yes No

Signage Is any signage proposed?

Please tick ✓ answer

Yes No

SMC - KEMPTON

RECEIVED

05.06.24

If yes attach details: size, colours, fonts, location

Existing hours of operation

| Hours | am | to | pm |
|----------|----|----|----|
| Weekdays | | | |
| Sat | | | |
| Sun | | | |

Proposed hours of new operation

| Hours | am | to | pm |
|----------|----|----|----|
| Weekdays | | | |
| Sat | | | |
| Sun | | | |

Number of existing employees

Number of proposed new employees :

Traffic Movements

| | | | |
|---|--|--|--|
| Number of commercial vehicles servicing the site at present | | Approximate number of commercial vehicles servicing the site in the future | |
| Number of Car Parking Spaces | How many car spaces are currently provided | How many new car spaces are proposed | |

Is the development to be staged:

Please tick ✓ answer

| | | | |
|-----|-------------------------------------|----|--------------------------|
| Yes | <input checked="" type="checkbox"/> | No | <input type="checkbox"/> |
|-----|-------------------------------------|----|--------------------------|

Is the development to be staged, If yes

| | | | |
|---------------------------|--|-------------------------------------|--|
| Described proposed stages | | Described period of proposed stages | |
|---------------------------|--|-------------------------------------|--|

Proposed Material Types

| | | | |
|--|-----------|--|-----------|
| What are the proposed external wall colours | No change | What is the proposed roof colour | No change |
| What are the proposed external wall materials | No change | What are the proposed roof materials | No change |
| What is the proposed new floor area m ² | No change | What is the estimated value of all the new work proposed | \$ |

Please attach any additional information that may be required by Part 6.1 Application Requirements of the Tasmanian Planning Scheme.

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

- The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Southern Midlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
- I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");

Applicant Signature

Sarah Silva

Applicant Name (please print)

Sarah Silva

Date

05.06.2024

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

DEVELOPMENT – Information & Checklist sheet

Use this check list for submitting your application

Submitting your application ✓

1. All plans and information required per Application Requirements of the Tasmanian Planning Scheme
www.iplan.tas.gov.au
ie: site plan showing all existing buildings, proposed buildings, elevation plans etc.
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices or www.thelist.tas.gov.au)
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code.
4. Prescribed fees payable to Council

Information

If you provide an email address in this form then the Southern Midlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, **please tick ✓** the box

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

ADVICE: There is no connection between Planning approval and Building & Plumbing approvals. Owners are to ensure that the work is either Low Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf

9 May 2024

Grant Finn and Louisa Brown
Southern Midlands
PO Box 21
Oatlands

By email: mail@southernmidlands.tas.gov.au;
lbrown@southernmidlands.tas.gov.au;
gfinn@southernmidlands.tas.gov.au

Dear Mr Finn and Ms Brown

CALLINGTON MILL

This letter is to accompany the development application for a change in surface material (concrete finish in both the courtyard and service yard areas) at 99 High Street, Oatlands (**the Callington Mill**).


Council must accept the application pursuant to s.57 of the *Land Use Planning and Approvals Act 1993* (subject to payment of the relevant fees). The development application is a discretionary application (s.34 *Historic Cultural Heritage Act 1995*), and public notification is to be undertaken in accordance with the statutory requirements.

This application falls within the purview of Heritage Tasmania, in accordance with s.36 of the *Historic Cultural Heritage Act 1995*. The potential impact of the works on the heritage values of the Callington Mill is exclusively within the jurisdiction of Heritage Tasmania for evaluation and consideration.

Clause C6.2.3 of the C6.0 Local Historic Heritage Code (**Heritage Code**) of the *Southern Midlands - Tasmanian Planning Scheme* delineates when that Code will apply to a development application. It explicitly states that the Heritage Code does not apply to registered places listed on the Tasmanian Heritage Register (**THR**), except in cases pertaining to significant trees. As the Callington Mill is listed as a registered place on the THR, it follows that the property cannot be regulated by the Heritage Code in respect of the works.

I trust that the Council will proceed with due diligence and prudence in evaluating the development application for retrospective approval of works at the Callington Mill.

Yours faithfully



Sarah Wilson
Special Counsel
Direct Line: (03) 6235 5157
Email: swilson@pageseager.com.au

SMC - KEMPTON

RECEIVED

05.06.24

CALLINGTON MILL, OATLANDS -PROPOSED WORKS

15 Nov 2022

INTRODUCTION

I have been asked to make an assessment of a proposed change to the pavement of the Callington Mill new Distillery from 'Stoneset Beach Stone' to concrete.

HERITAGE VALUES

The Callington Mill Precinct contains various historic structures exhibiting a range of heritage values. The 1837 Callington tower mill is the centrepiece of several historic buildings in the precinct dating from Georgian to Federation periods.

HERITAGE IMPACT OF PROPOSED CHANGE OF PAVEMENT

The pavement is to the courtyard of the recently constructed Callington Distillery.

The townscape context of the distillery shows the mill as the strongly dominant element, the distillery as a large but sympathetic modern gabled structure, all buildings set well back from public streets and appearing as buildings in space rather than as part of continuous street edges. The new distillery addresses the Esplanade rather than High Street.

Stoneset Beach Stone is a pavement that looks appropriate in a rural or heritage setting and certainly was a good choice originally for this context. Certainly Stoneset beach Stone is an unobtrusive material when used against heritage buildings. It would have been my first choice for the site. However the relevant question is not what would be the preferred choice, but whether or not the proposed alternative -concrete pavement -will impact on the heritage values of the precinct.

It is my opinion that the ideal solution would have the concrete pavement separated to some degree from the adjacent heritage building by a 'visual break'. The brick Federation Visitors Centre is the only heritage building affected by the proposed concrete pavement.

The following photos demonstrate that the distillery and associated concrete pavement is a clearly modern material and would be softened by a visual break to partially isolate it from the nearby heritage structures -for example the introduction of a hedge planting or timber fence along the side of the Federation building.

Without that hedge or fence containment I consider that this proposal will have a **very low** impact on the historic cultural heritage significance of the Callington Mill precinct. With the introduction of a hedge or timber fence there will be **no** impact on the heritage significance of the place.

Accordingly, I recommend that the proposed concrete pavement be approved and if possible a hedge or timber fence be introduced to the edge of the concrete pavement.



Prepared by

graeme corney architect & heritage consultant

3/78a Esplanade, Rose Bay 7015 tel (03) 6243 1994 or 0448 014 005

SMC - KEMPTON

RECEIVED

05.06.24



New distillery showing the new concrete pavement. Photo by Hamid Saeidi



Heritage buildings and adjacent new concrete pavement. Photo by Hamid Saeidi

SMC - KEMPTON

RECEIVED

05.06.24

era
PLANNING
& ENVIRONMENT

a: Level 1, 125A Elizabeth St Hobart 7000

p: (03) 6165 0443

e: enquiries@eraplanning.com.au

abn: 67 141 991 004

5 June 2024

Reference: 2223-048

The General Manager
Southern Midlands Council
PO Box 21
OATLANDS TAS 7120

By email: mail@southernmidlands.tas.gov.au

Dear Sir,

CALLINGTON MILL HISTORIC SITE 99 HIGH STREET, OATLANDS

ERA Planning and Environment have been engaged by Callington Mill Pty Ltd to lodge a planning application seeking approval for a change to the surface material (concrete finish) at 99 High Street, Oatlands (the site). The scope of works includes the following:

- a concrete finish in both the courtyard and service yard.

The application for planning approval includes a Heritage Statement, prepared by Graeme Corney. The Heritage Statement includes the following recommendation:

'the distillery and associated concrete pavement is a clearly modern material and would be softened by a visual break to partially isolate it from the nearby heritage structures -for example the introduction of a hedge planting or timber fence along the side of the Federation building.'

In response to the recommendation above, additional landscaping has been proposed to assist in providing a visual break to soften the appearance of the concrete. It is highlighted that this landscaping includes species specifically requested by Heritage Tasmania, when the most recent minor amendment was referred to them; this minor amendment is discussed briefly in the background below.

Broadly speaking, the proposed design changes are in response to detailed design and engineering work to meet building regulations and operational requirements. Refer to Figure 1 for site context.

The planning permit application includes the following documents which are provided separately to this letter:

- Planning application form
- A supporting letter prepared by Page Seager Lawyers
- Title documentation
- Proposed site plan, prepared by Cumulus Studio and landscaping plans, prepared by Play Street; and
- Heritage Statement, prepared by Graeme Corney (Architect and Heritage Consultant).



Figure 1: Site plan (Source: The LIST, 27.11.23)

SITE INFORMATION

Details for the subject sites are shown below:

| Address | Owner | Certificate of Title | Land Area |
|--------------------------|----------------------------|----------------------|--------------------|
| 99 High Street, Oatlands | Lake Frederick Inn Pty Ltd | 240022/1 | 6695m ² |

BACKGROUND INFORMATION

The sites have been subject to planning approvals for the following development applications:

Development Application DA2018/90 – Whisky distillery with associated visitor services (retail, tours, tastings) and food services (café), dated 1 March 2019.

Minor Amendment DA2018/90A. This amendment, dated 24 September 2019, approved the following changes to the approved development:

- Increased ground floor storage space (additional excavation required, but still contained within existing building footprint)
- Increased external vehicle service area and change of surface material (from gravel to exposed aggregate)
- Relocation of trade waste treatment tanks affording greater separation from neighbouring dwelling
- Introduction of fire water tanks (two below ground and four above ground) as required by the building standards
- Introduction of LPG storage area (location chosen to allow for setback requirements)
- Introduction of substation kiosk, chiller and boiler plant (additional excavation required; to be located below the height of the existing stone wall on The Esplanade)
- Refinement of vehicle access grades to meet relevant design standards (this has resulted in a 20cm increase in height to the proposal); and

- Increase in impermeable surface area.

The current development application seeks approval for the concrete finish under s57 of the LUPA Act. A supporting letter, prepared by Page Seager has been included with the application documents highlighting that Council are legally obliged to accept the application for assessment under the provisions of the *Tasmanian Planning Scheme – Southern Midlands*, which is now the applicable planning scheme. As the Callington Mill site is listed as a registered place on the Tasmanian Heritage Register, the property cannot be regulated by the Heritage Code in respect of the works and the assessment needs to be undertaken by Heritage Tasmania, in accordance with *section 36 of the Historic Cultural Heritage Act 1995*.

SITE PHOTOS



Photo 1: View of existing distillery showing the extent of the existing hardstand and the location of the wall opening (source: Callington Pty Ltd)



Photo 2: View of the Heritage listed buildings site from the east looking in a western direction. The edge of the hardstand is contained within CT 240022/1 and does not encroach on the adjacent Crown land (source: Callington Pty Ltd)

PLANNING ASSESSMENT

The subject site at 99 High Street is in the General Business zone pursuant to the *Tasmanian Planning Scheme - Southern Midlands* (the Planning Scheme). The existing onsite use is a distillery (Resource Processing); the subject works are considered ancillary to the use. The concreted area is sited entirely within the General Business zoned area.

The use standards pursuant to the General Business zone are not relevant as the use would not be changing nor intensifying. For this reason, it is considered that the works are not inconsistent with the zone purpose statements of the zone.

The Planning Scheme, pursuant to the General Business zone, separates out standards specifically for a proposed use. These relate to hours of operation, external lighting, commercial vehicles, discretionary uses, and retail impact. As there will be no change to the existing use nor any other assessable use provisions, the use standards are not applicable in this instance and no assessment is required against these standards.

The Planning Scheme, pursuant to the General Business zone, separates out standards specifically for building and works. These standards relate to new building heights and setbacks, the design of new buildings or alterations to existing building facades, new fencing (or free standing walls) within 4.5 m of a frontage, outdoor storage areas, and new dwellings. As the proposed development includes none of these elements, the development standards are not considered applicable in this instance and no further assessment is required.

C2.0 Parking and Sustainable Transport Code

This Code technically applies to all use and development, however, there is no change to the existing parking and access arrangements will not be impacted as a result of the change; employee parking is currently provided on the Callington Mill site (CT 150311/1) and visitor parking is reliant upon public car parking at the Council owned Barrack Street car park or on-street along High Street

C6.0 Local Historic Heritage Code

While the subject works are within a designated local heritage place and precinct (Southern Midlands Local Provisions Schedule), the Local Historic Heritage Code does not apply to a place entered on the Tasmanian Heritage Register, unless affecting a significant tree. The site is listed on the Tasmanian Heritage Register and does not include a significant tree. For these reasons this code is not applicable.

C7.0 Natural Assets Code

The subject area of concrete is located adjacent to a priority vegetation area overlay, as shown in Figure 2. The Natural Assets Code does not apply to the General Business Zone. Given that the site was previously crushed, compacted gravel on hardstand and no native vegetation was present and required clearing, the Natural Assets Code is not triggered, and no further assessment is required.



Figure 2: Priority vegetation area overlay shown as green hatched area (Source: The LIST, 02.05.23). This overlay sits directly the existing hardstand area to be concreted.

SMC - KEMPTON

RECEIVED

05.06.24

CONCLUSION

The proposal is for a concrete finish in both the courtyard and service yard areas.

The subject site is a heritage place and within the Callington Mill Heritage Precinct, although the site is State listed and not subject to the Local Historic Heritage Code.

The proposal has been assessed against the relevant clauses of the General Business zone, and relevant planning codes and was found to be acceptable as the works are ancillary to an existing use and not considered measurable in terms of the Planning Scheme provisions. The proposal is consistent with the objectives of the *Tasmanian Planning Scheme - Southern Midlands* and is recommended for approval.

I trust that this meets your requirements, however, should you require any further information please do not hesitate to contact me on 0407 005 295 or at sarah@eraplanning.com.au

Yours sincerely,



Sarah Silva

Senior Planner

Attachments:

A - Planning application form

B - A supporting letter prepared by Page Seager Lawyers

C - Title documentation

D - Proposed site plan, prepared by Cumulus Studio and landscaping plans, prepared by Play Street; and

E - Heritage Statement, prepared by Graeme Corney (Architect and Heritage Consultant).

SMC - KEMPTON
RECEIVED
05.06.24

CALLINGTON MILL DISTILLERY, 99 HIGH STREET OATLANDS

GENERAL NOTES

PROJECT

DESIGNER
 CUMULUS STUDIO PTY LTD
CERTIFIED ARCHITECT: PETER WALKER
ACCREDITATION N°: CC2143E
ARCHITECTS ADDRESS HOBART Suite 2, Level 2, 147 Macquarie Street Hobart, TAS 7000 +61(3) 6231 4841

LOCATION
PROJECT N°: T17333
PROJECT NAME: CALLINGTON MILL DISTILLERY

TITLE REFERENCE: 240022
PROJECT ADDRESS: 99 HIGH STREET OATLANDS

SITE DETAILS
BAL: N/A
CLIMATE ZONE: ZONE 7
ALPINE AREA: NO
CORROSION: LOW

DRAWING LIST

| No | Layout Name | Issue | Issued Date | Notes |
|------|-------------|-------|--------------------|---|
| SK00 | COVER PAGE | 03 | 15/1/2024, 4:49 pm | FLOOR FINISH + DRYSTONE WALL OPENING DA |
| SK01 | SITE PLAN | 03 | 15/1/2024, 4:49 pm | FLOOR FINISH + DRYSTONE WALL OPENING DA |



1 **SITE LOCATION**
 1:1000

| Issue | date | purpose |
|-------|-----------|---|
| 33 | 15/1/2024 | FLOOR FINISH + DRYSTONE WALL OPENING DA |



copyright
Cumulus Studio Pty Ltd
 info@cumulus.studio
 Hobart
 Suite 2, Level 2, 147 Macquarie St. Hobart, TAS 7000
 +61(3) 6231 4841
 Launceston
 Level 1, 60 Cameron St. Launceston, TAS 7250
 +61(3) 6333 0930
 Melbourne
 Level 1, 127 Greville St. Prahran, VIC 3181
 +61(3) 9521 4518

The copyright for these designs, plans and specifications belongs to Cumulus Studio Pty Ltd and must not be used, reproduced or copied without their written permission.

general notes
 These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction

accredited designer:
 PETER WALKER, CC2143E

drawn by RS **checked by** PW

reason of issue
FLOOR FINISH + DRYSTONE WALL OPENING DA

project:
CALLINGTON MILL DISTILLERY
 99 HIGH STREET OATLANDS

drawing title
COVER PAGE

print date 15/1/2024 **original size** A3
drawing n° T17333-SK00 **issue** 03

SMC - KEMPTON
RECEIVED
05.06.24

| Issue | date | purpose |
|-------|-----------|---|
| 33 | 15/1/2024 | FLOOR FINISH + DRYSTONE WALL OPENING DA |
| 31 | 4/8/2022 | EXT. SIGNAGE, LIGHTING+FLOOR FINISH DA |



copyright
Cumulus Studio Pty Ltd
 info@cumulus.studio
 Hobart
 Suite 2, Level 2, 147 Macquarie St. Hobart, TAS 7000
 +61(3) 6231 4841
 Launceston
 Level 1, 60 Cameron St. Launceston, TAS 7250
 +61(3) 6333 0930
 Melbourne
 Level 1, 127 Greville St. Prahran, VIC 3181
 +61(3) 9521 4518
 The copyright for these designs, plans and specifications belongs to Cumulus Studio Pty Ltd and must not be used, reproduced or copied without their written permission.

general notes
 These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction

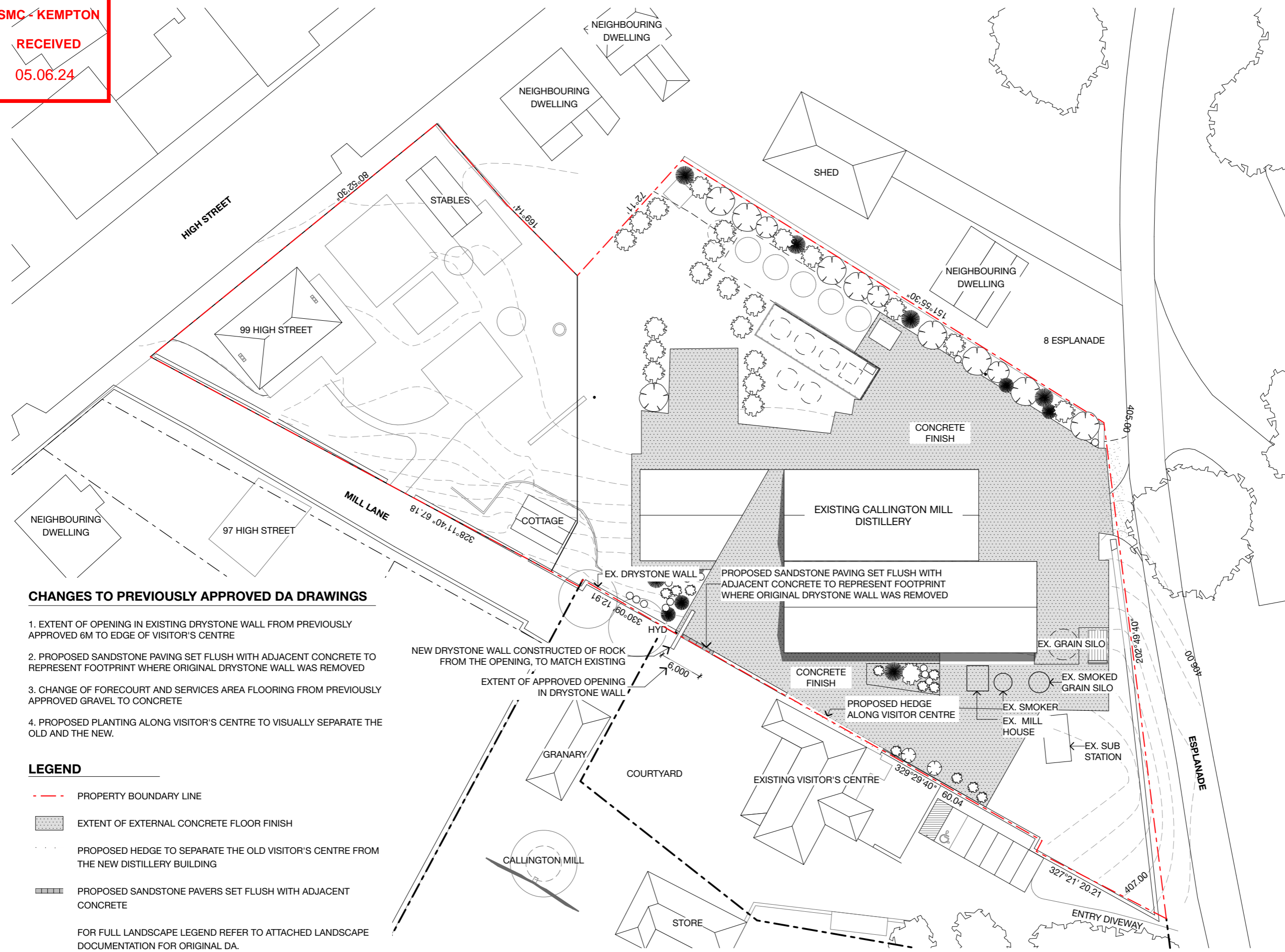
accredited designer:
 PETER WALKER, CC2143E

drawn by: RS checked by: PW

reason of issue
FLOOR FINISH + DRYSTONE WALL OPENING DA
 project:
CALLINGTON MILL DISTILLERY
 99 HIGH STREET OATLANDS

drawing title
SITE PLAN

print date: 15/1/2024 original size: A3
 drawing n^o: T17333-SK01 issue: 03



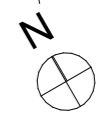
CHANGES TO PREVIOUSLY APPROVED DA DRAWINGS

1. EXTENT OF OPENING IN EXISTING DRYSTONE WALL FROM PREVIOUSLY APPROVED 6M TO EDGE OF VISITOR'S CENTRE
2. PROPOSED SANDSTONE PAVING SET FLUSH WITH ADJACENT CONCRETE TO REPRESENT FOOTPRINT WHERE ORIGINAL DRYSTONE WALL WAS REMOVED
3. CHANGE OF FORECOURT AND SERVICES AREA FLOORING FROM PREVIOUSLY APPROVED GRAVEL TO CONCRETE
4. PROPOSED PLANTING ALONG VISITOR'S CENTRE TO VISUALLY SEPARATE THE OLD AND THE NEW.

LEGEND

- - - PROPERTY BOUNDARY LINE
 - EXTENT OF EXTERNAL CONCRETE FLOOR FINISH
 - PROPOSED HEDGE TO SEPARATE THE OLD VISITOR'S CENTRE FROM THE NEW DISTILLERY BUILDING
 - PROPOSED SANDSTONE PAVERS SET FLUSH WITH ADJACENT CONCRETE
- FOR FULL LANDSCAPE LEGEND REFER TO ATTACHED LANDSCAPE DOCUMENTATION FOR ORIGINAL DA.

1 **SITE PLAN**
1:500



Callington Mill Distillery, Oatlands

Landscape Documentation for Development Approval

DOCUMENTATION SERIES

- L000 Cover Sheet / Irrigation Plan
- L001 Materials Schedule / Planting Schedule
- L100 Surfaces and Finishes Plan
- L300 Planting Plan
- L400 Landscape Details

NOTES

Read all landscape plans in conjunction with landscape materials schedule and landscape specification.

Services

Conduct Dial Before You Dig enquiry and locate and mark positions of all underground services prior to commencing works on site.

Refer to Cumulus Studio for all Architectural documentation and pavement specifications.

Refer to COVA for all Engineering (structural, civil, hydraulic and electrical) documentation and specifications.

Make good

Contractor to make good damage to any adjacent surfaces or existing conditions that were to be retained at contractor's expense. Contractor to make good any grass areas that are disturbed during construction. Refer landscape specification.

Set out

Confirm all set out with Superintendent prior to construction.

Levels and drainage

Ensure positive drainage on all surfaces and subgrades to pits and agricultural drains.

Soft landscaping

All soft landscape works to be carried out by a qualified landscape contractor. Landscape contractor must have minimum Horticultural Certificate Level II (AHC 20416), ideally Level III (AHC 30716).

Trees

Contractor to arrange procurement and delivery.

Subgrade

All compacted subgrade under pavements to be CBR 4% minimum.

Plant Species

Supply trees with the following properties:

- free from injury
- self-supporting
- with calliper at any given point on the stem greater than the calliper at any higher point on the stem
- Health: foliage size, texture and colour at time of delivery consistent with that of healthy specimens for the nominated species
- Vigour: extension growth consistent with that exhibited in vigorous specimens of the nominated species
- Damage: free from damage and from restricted habit due to growth in nursery rows
- Stress: free from stress resulting from inadequate watering, excessive shade or excessive sunlight experienced at any time during their development
- Site environment: grown and hardened of to suit anticipated site conditions at the time of delivery
- Root development: grown in their final containers for the following periods:
 - plants <25L size: more than 6 weeks
 - plants >25L size: more than 12 weeks
- Pests and disease: free from attack by pests or disease

Root Systems

Supply plant material with a root system that is:

- well proportioned in relation to the size of the plant material
 - conducive to successful transplantation
 - free of any indication of having been restricted or damaged
- Do not provide root bound stock.

Irrigation Design and Installation Guidelines

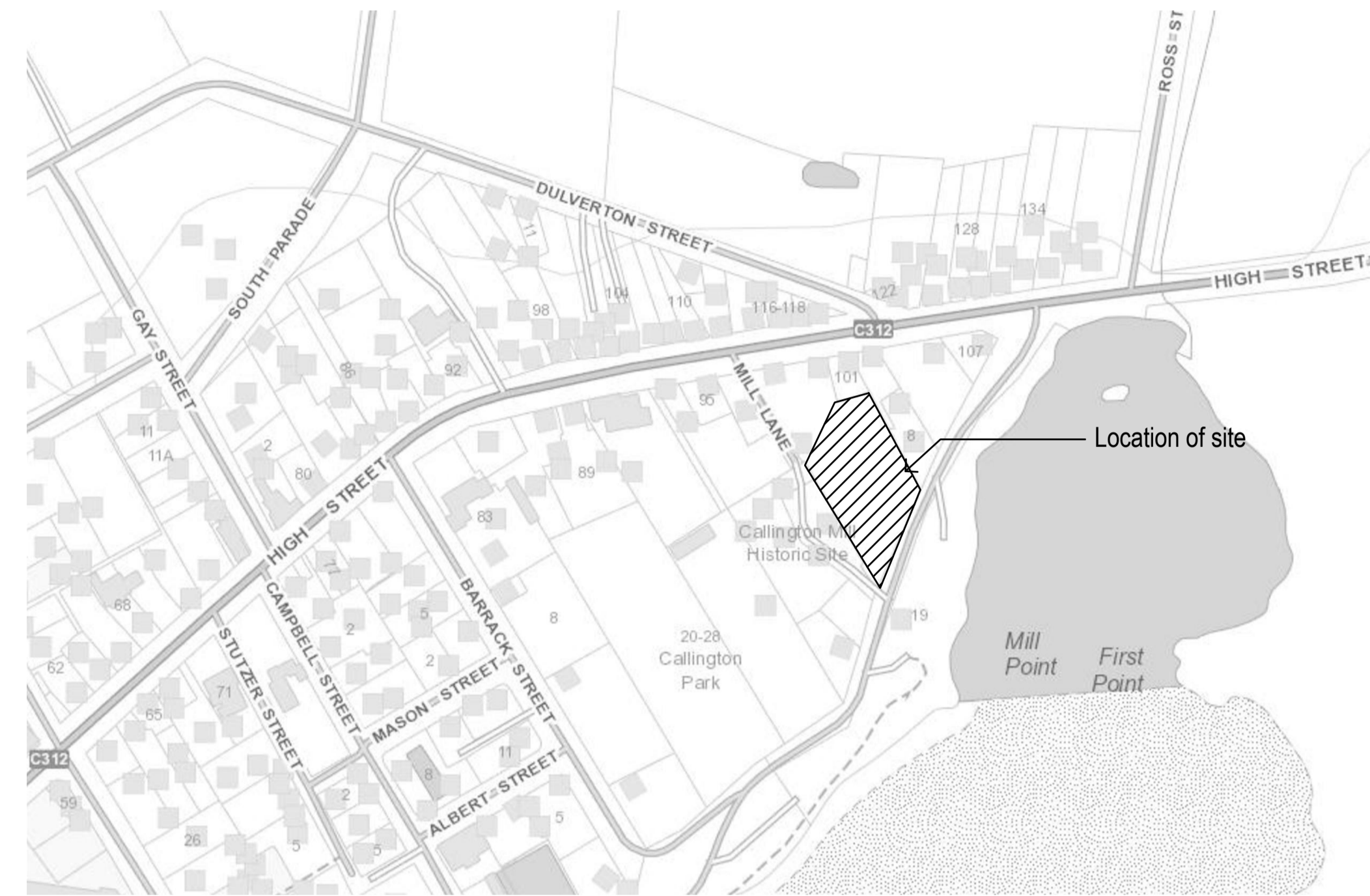
- Irrigation to be design and constructed by a recognised irrigation trades person.
- Irrigation schematic design to be provided by the irrigation installer to the Superintendent for client approval prior to construction.
- Layout of irrigation zones with valve boxes suitable to achieve effective irrigation to all garden bed and trees to courtyard areas and street frontages shown. Run suitable sized arterial irrigation pipes to all irrigation zones. All irrigation pipes and fixtures to be of a high quality suitable for commercial irrigation purposes. All dripline to be Tetafim Techline AS XR 13Ø 1.6L/hr @0.3 dripper spacings in 600mm rows, to be buried 100mm below surface. Alternative irrigation methods can be provided by the Irrigation installer to the Superintendent for client approval.
- Irrigation design to be coordinated with Main builders sub trades and Project engineers
- Coordination will include integration of conduits within slabs and through walls as required. Refer Engineer's documentatino for supply of water (pump from tanks), backflow prevention and pressure reduction as required. Final locations and levels of irrigation boxes to installer's discretion.
- Isolation valves to be located at the junction of each irrigation zone valve box.
- Notional Irrigation Zone Diagram provided subject to approval by the Superintendent
- Battery operated controllers within each irrigation box unless client requests central master controller.
- As built diagram of zones, boxes and irrigation layout to be provided at completion
- Basic maintenance manual to be provided by the installer for the above layout
- Induction of system to be provided to the caretaker at end of the maintenance period

Maintenance Period

6 months maintenance period on all soft landscape items. Any required maintenance manuals, shop drawings and 'as built plans' to be provided during at completion of contract to Client. Ongoing landscaping maintenance by owner following completion of contractor maintenance period.

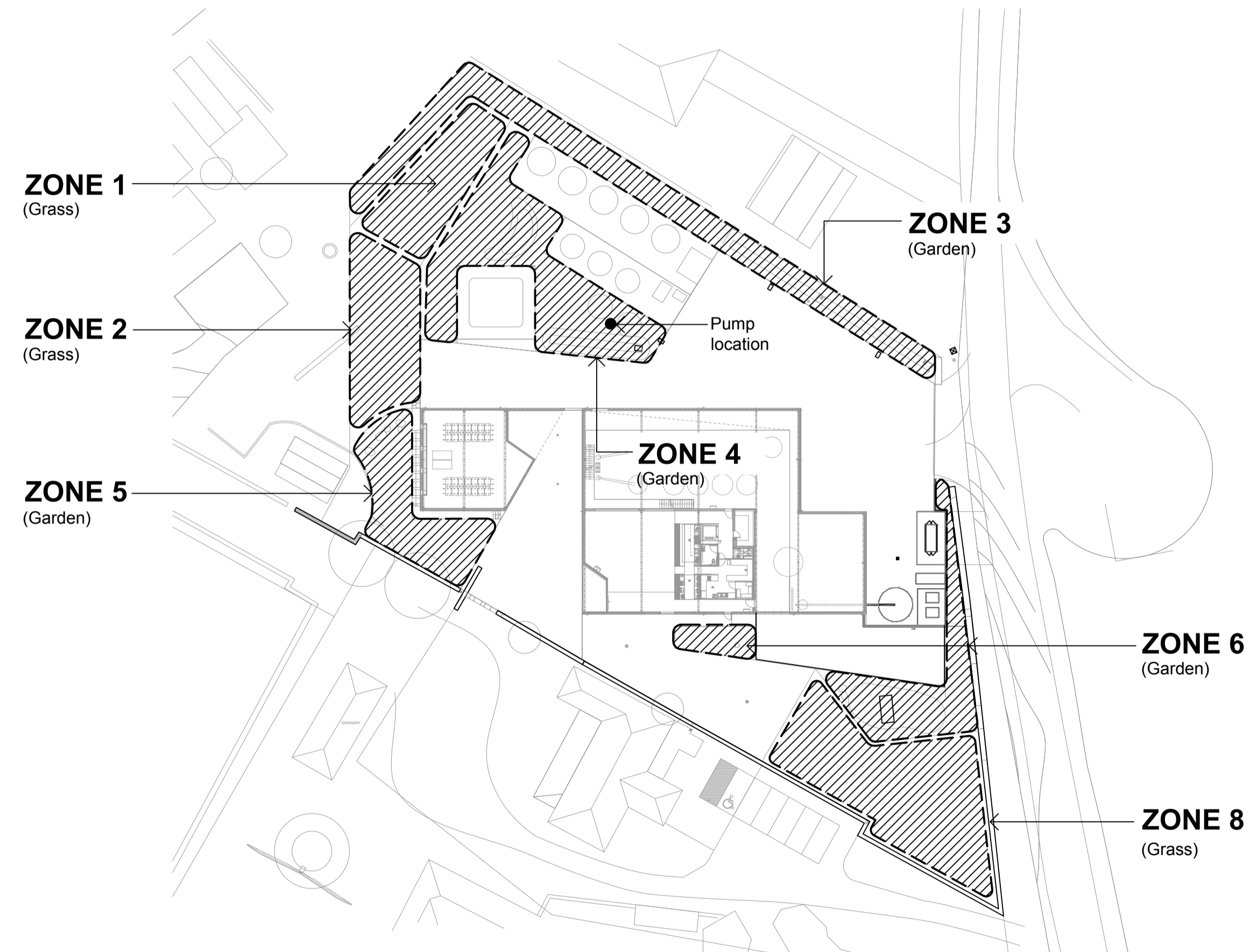
Defects period

Defects period on planting as defined in the main contract provided by Client.



Location Plan

Scale 1:3000@A1



Irrigation Zone Plan

Scale 1:500@A1

| ISSUE | STATUS | DATE | REVIEWED | ISSUE | STATUS | DATE | REVIEWED |
|-------|--|------------|----------|-------|--------|------|----------|
| • | 90% Issue for Review | 21-06-2019 | CT | | | | |
| • | Revised Issue for Development Approval | 08-07-2021 | PST | | | | |
| | | | | | | | |
| | | | | | | | |

L000

SHEET TITLE
Cover Sheet

01 of 02

PROJECT
Callington Mill Distillery

CLIENT
Cumulus

DESIGNED
CT/LG

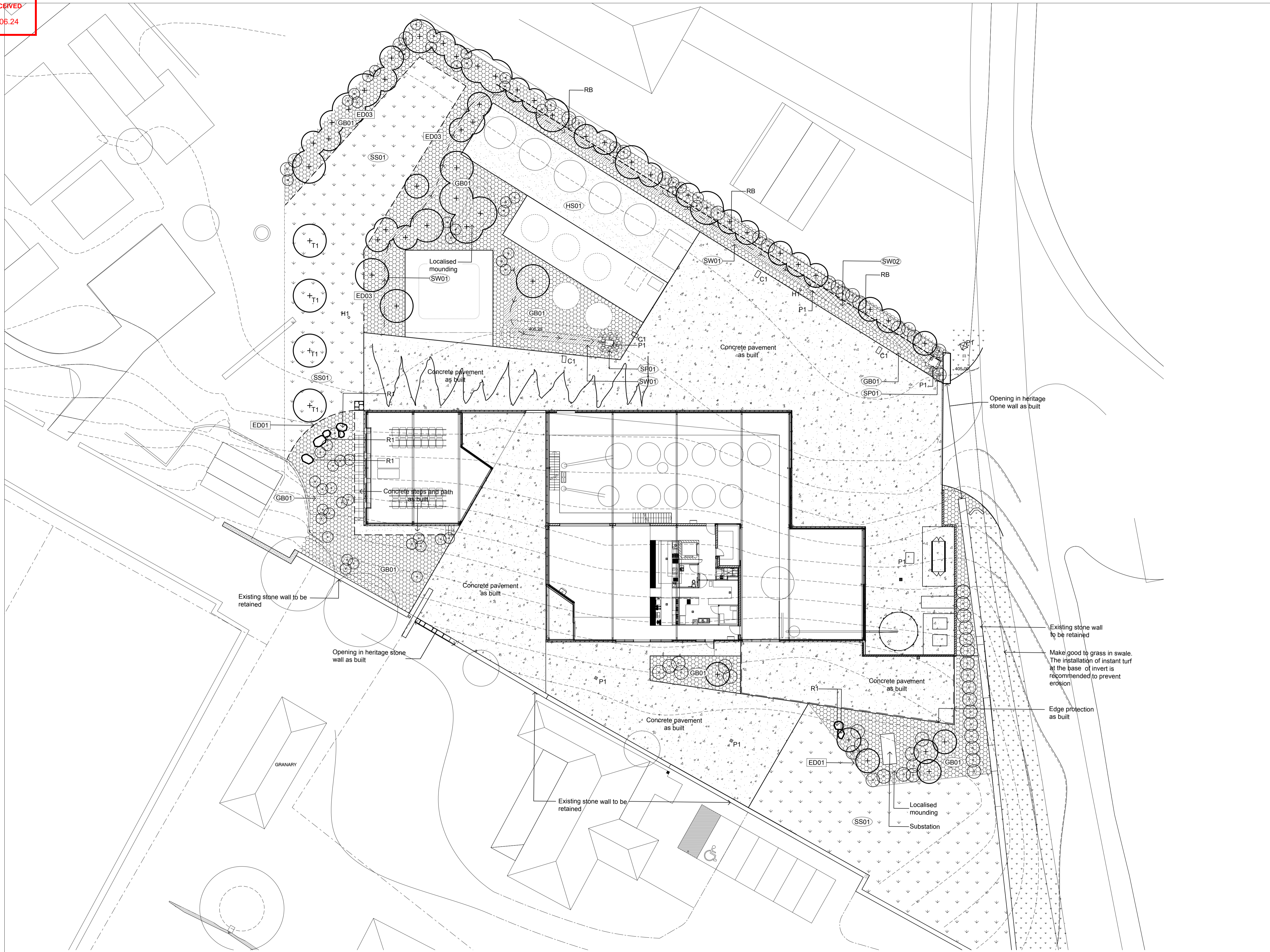
DRAWN
AK/LG

PROJECT NO.
18-99

DATE
June 2019

SCALE
as shown

DO NOT SCALE OFF DRAWINGS.



MATERIALS KEY
REFER L001 MATERIALS SCHEDULE

- SURFACES**
- (HS03) Compacted gravel with dirt glue
 - (SS01) Seeded grass
 - (GB01) Garden bed - organic mulch
 - (SW01) Garden bed swale
 - (SW02) Bioretention swale
 - (SP01) Rock spalls - surface

- EDGING & WALLS**
- [ED01] Steel edging - type 1
 - [ED03] Spade edging

- OTHER ITEMS**
- T1 Relocated fruit tree
 - R1 Rock retaining
 - RB Root barrier
 - P1 Stormwater pits - refer COVA documentation
 - C1 Communication pit - refer COVA documentation
 - H1 Fire hydrant - refer COVA documentation

- (TR01) Proposed advanced tree
- (S1) Proposed shrub

| ISSUE | STATUS | DATE | REVIEWED |
|-------|--|------------|----------|
| • | 90% Issue for Review | 21-06-2019 | CT |
| • | Revised Issue for Development Approval | 08-07-2021 | PST |

| ISSUE | STATUS | DATE | REVIEWED |
|-------|--------|------|----------|
| | | | |
| | | | |

L100

SHEET TITLE
Surfaces & Finishes Plan

PROJECT
Callington Mill Distillery
CLIENT
Cumulus

DESIGNED
CT/LG
DRAWN
AK/LG
PROJECT NO.
18-99
DATE
June 2019

SCALE
1:200@A1
DO NOT SCALE OFF DRAWINGS.



| CODE | NAME | COMPOSITION / FINISH | CONSTRUCTION DETAIL | KNOWN SUPPLIER | REQUIRED DIMENSIONS | SAMPLE AND SUPERINTENDENT APPROVAL |
|---------------------------|---------------------------------------|---|---------------------|---|---------------------|------------------------------------|
| SURFACES | | | | | | |
| HS01 | Compacted gravel with dirt glue | Limestone 4mm with fines, compacted with moisture to create solid surface. Final compacted surface to be 50mm thick. Dirt glue to be applied by an approved installer to manufacturers specification to surface when gravel is fluffy. Ensure final surface compacted is smooth and even with a consistent gradient between spot heights to COVA design levels. No loose gravel should be on the surface. Loose screenings should be removed. | Refer 01/L400 | HBMI and Dirt glue installed (Specialised Landscape Services) | | 5m2 |
| SS01 | Seeded grass | Total Turf Care Sports ground turf or approved equivalent. Install over a freshly dressed 150mm imported sandy loam topsoil blend. Establish to a consistent sward. Surface to be smooth and even with constant grades between spot heights. Ensure positive drainage. | - | Total Turf Care - Nick Hansen (or approved equivalent) | | 10m |
| GB01 | Garden bed - organic mulch | Garden bed with 'Black' well composted gum bark over imported sandy loam topsoil blend. Refer to Levels Plan (L200) for depth of topsoil. Top of mulch to finish 50mm set down to concrete surfaces. No leaf litter. | Refer 02/L400 | Males Sand (ph: 03 6223 6088) | 75mm depth mulch | 20L |
| SW01 | Garden bed swale | Swale garden bed with 'Black' well composted gum bark over imported sandy loam topsoil blend. | Refer 03/L400 | | 75mm depth mulch | 20L |
| SW02 | Bioretention swale | 75-100mm sandstone rubble spalls over top of bioretention swale. Sandy loam drainage material - refer Engineer's documentation. Top of spall to finish flush with adjacent surfaces. | Refer 05/L400 | | 150mm depth | 20L |
| SP01 | Rock spalls - surface | 75-100mm sandstone rubble spalls to replace organic mulch on GB01 | - | | 150mm depth | |
| EDGING & WALLS | | | | | | |
| ED01 | Hot dip galvanised (HDG) steel edging | Finish flush with adjacent surfaces. Ensure all edges are smooth and free of burrs. Cold galv spray any damaged surface or welds. | Refer 06/L400 | | 100x5mm | 2Lm |
| ED02 | Spade edging | Edge at 45 degree angle into ground, remove all vegetative debris and earth clumps from edge. | Refer 07/L400 | | | 2Lm |
| OTHER ITEMS | | | | | | |
| T1 | Transplanted fruit tree | Transplant existing fruit trees retaining large root ball. Prune as required. To be carried out by qualified horticulturalist. Provide mulched circular zone at base of trunk, double the size of the root ball, spade edge to grass | Refer 04A/L400 | | | |
| R1 | Rock retaining | Weathered dolerite or sandstone boulders placed in garden bed to act as retaining. Refer L200 Levels Plan. Boulders to be buried and secured so safe with no rocking. Ensure no foot entrapment between boulders. | Refer 08/L400 | | | |
| RB | Root barrier | 'Root Gard' root barrier, 600mm depth, install as per manufacturer's specifications | - | Treemax (ph: 1800 550 000) | | |
| TR01 | Tree in garden bed | Refer to plant schedule and typical detail for installation information | Refer 04B/L400 | | | |

Materials Schedule

Scale NA@A1

| CODE | BOTANICAL NAME | COMMON NAME | HABIT | POT SIZE | NO. |
|-------------------------------|--|---------------------------------|-----------------|----------|-----|
| Trees | | | | | |
| Ac | <i>Allocasuarina crassa</i> | Cape Pillar Sheoak | 3-6m x 1-5m | 300mm | 18 |
| Bu | <i>Betula utilis var. jacquemontii</i> | White Barked Himalayan Birch | 10m x 5m | 45L | 11 |
| Cs | <i>Cercis siliquastrum</i> | Judas Tree | 8m x 7m | 200L | 2 |
| Ps | <i>Pyrus salicifolia</i> | Willowleaved Pear | 7m x 4m | 45L | 11 |
| Shrubs | | | | | |
| Bm | <i>Banksia marginata</i> | Silver Banksia | 5m x 4m | 300mm | 17 |
| Bs | <i>Buxus sempervrens</i> | English Box (Clipped spherical) | 1m x 1m | 140mm | 15 |
| Ca | <i>Cornus alba 'Sibirica'</i> | Red Stemmed Dogwood | 1.5m x 2m | 300mm | 4 |
| Do | <i>Daphne odora</i> | Winter Daphne | 1m x 1m | 140mm | 6 |
| Ni | <i>Notelea ligustrina</i> | Native Olive | 6-12m x 4-6m | 300mm | 9 |
| So | <i>Salvia officinalis</i> | Common Sage | 0.5m x 0.9m | 140mm | 7 |
| Wf | <i>Westringia fruticosa</i> | Coastal Rosemary | 1.2m x 1.5m | 140mm | 82 |
| Grasses / Groundcovers | | | | | |
| Ck | <i>Calamagrostis 'Karl Foerster'</i> | Feather Reed Grass | 1.5m x 0.6m | 140mm | 34 |
| Cx | <i>Carex appressa</i> | Tall Sedge | 0.6m x 0.5m | Tube | 231 |
| Cg | <i>Casuarina glauca 'Free Fall'</i> | Swamp Sheoak | 0.6m x 3-6m | 140mm | 10 |
| Ci | <i>Coronidium scorpioides</i> | Button Everlasting | 0.3m x 0.3m | Tube | 90 |
| Fn | <i>Ficinia nodosa</i> | Knobby Club Rush | 0.5m x 0.5m | Tube | 410 |
| Jf | <i>Juncus filicaulis</i> | Thread Rush | 0.5m x 0.2m | Tube | 65 |
| Jp | <i>Juncus pallidus</i> | Pale Rush | 1-2m x 0.3-1m | Tube | 90 |
| Li | <i>Lomandra longifolia</i> | Mat Rush | 1m x 1m | Tube | 358 |
| Nz | <i>Narcissus tazetta</i> | Paperwhite Daffodil | 0.2-0.5m x 0.2m | Bulb | 101 |
| Pi | <i>Poa labillardieri 'Eskdale'</i> | Common Tussock Grass | 0.6m x 0.5m | 140mm | 278 |
| Rp | <i>Ranunculus prasinus</i> | Tunbridge Buttercup | 0.1m x 0.2m | Tube | 80 |
| Sb | <i>Stachys byzantina</i> | Lamb's Ears | 0.3m x 0.5m | 140mm | 52 |
| Td | <i>Thalictrum delvayi</i> | White Chinese Meadow Rue | 0.8m x 0.8m | 140mm | 40 |
| Tt | <i>Themeda triandra</i> | Kangaroo Grass | 0.7-1m x 0.5m | Tube | 132 |

Planting Schedule

Scale NA@A1

| ISSUE | STATUS | DATE | REVIEWED | ISSUE | STATUS | DATE | REVIEWED |
|-------|--|------------|----------|-------|--------|------|----------|
| • | 90% Issue for Review | 21-06-2019 | CT | — | — | — | — |
| • | Revised Issue for Development Approval | 08-07-2021 | PST | — | — | — | — |
| 01 | Issue for DA - Additional Hedge | 21-07-2023 | PST | — | — | — | — |

L001

SHEET TITLE
Schedules
02 of 02

PROJECT
Callington Mill Distillery
CLIENT
Cumulus

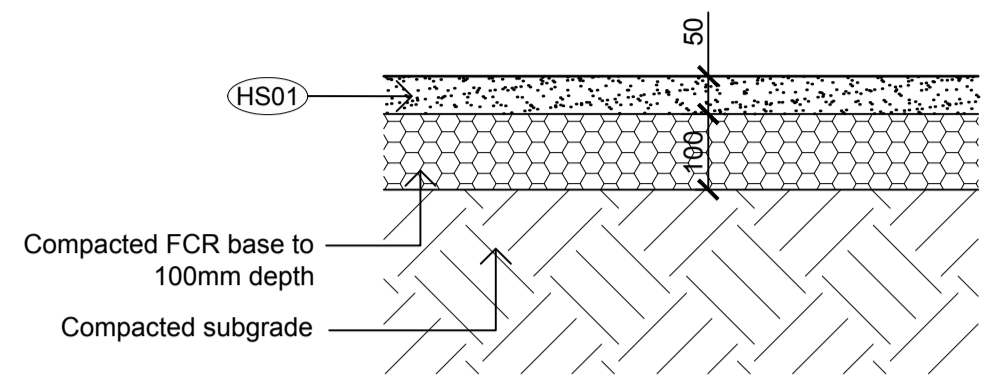
DESIGNED
CT/LG
DRAWN
AK/LG

PROJECT NO.
18-99
DATE
June 2019

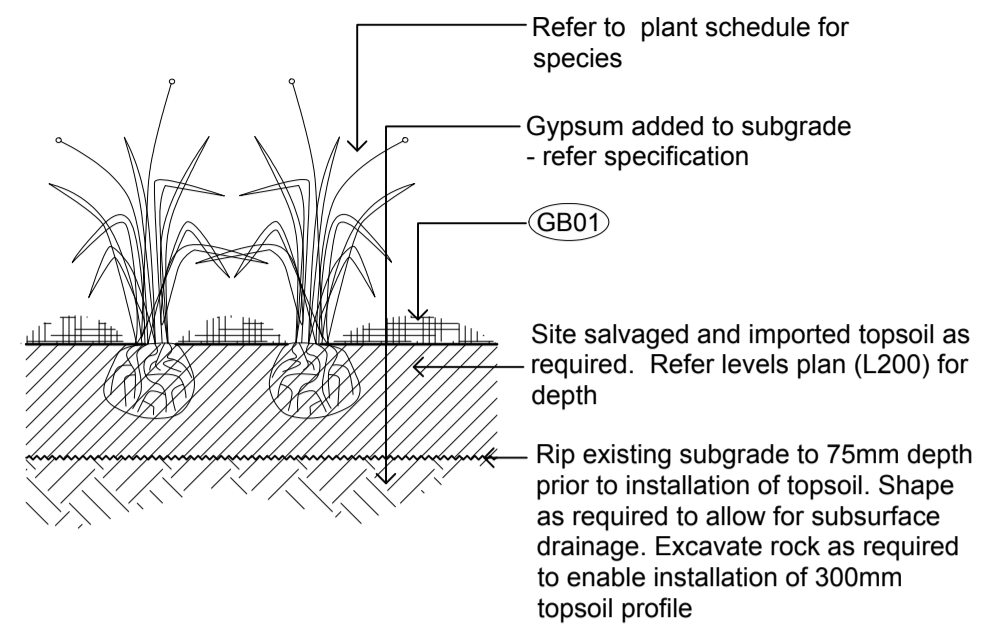
SCALE
n/a

DO NOT SCALE OFF DRAWINGS.

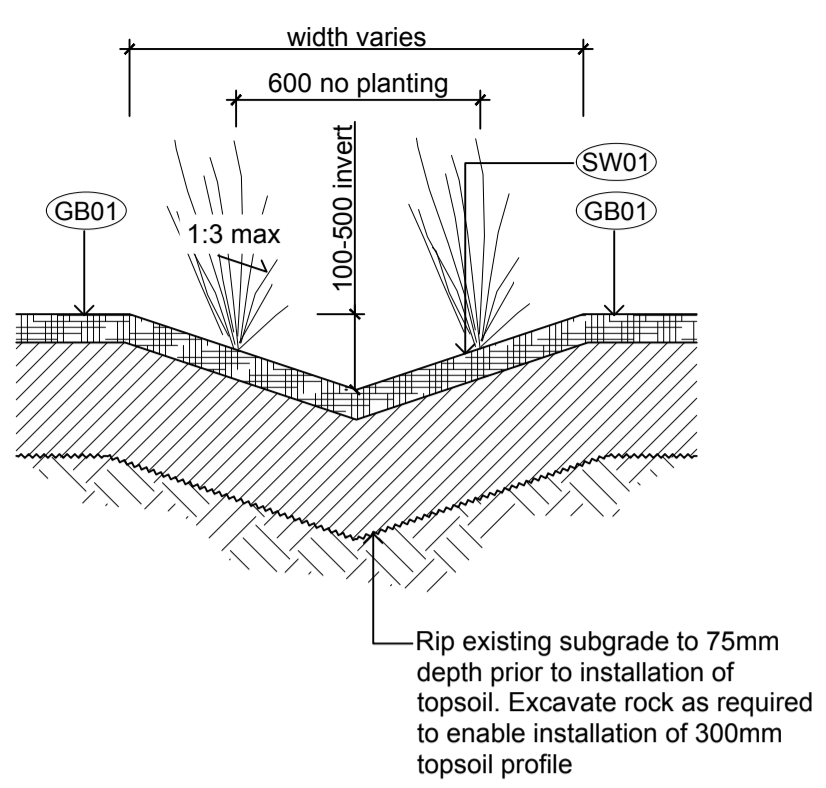




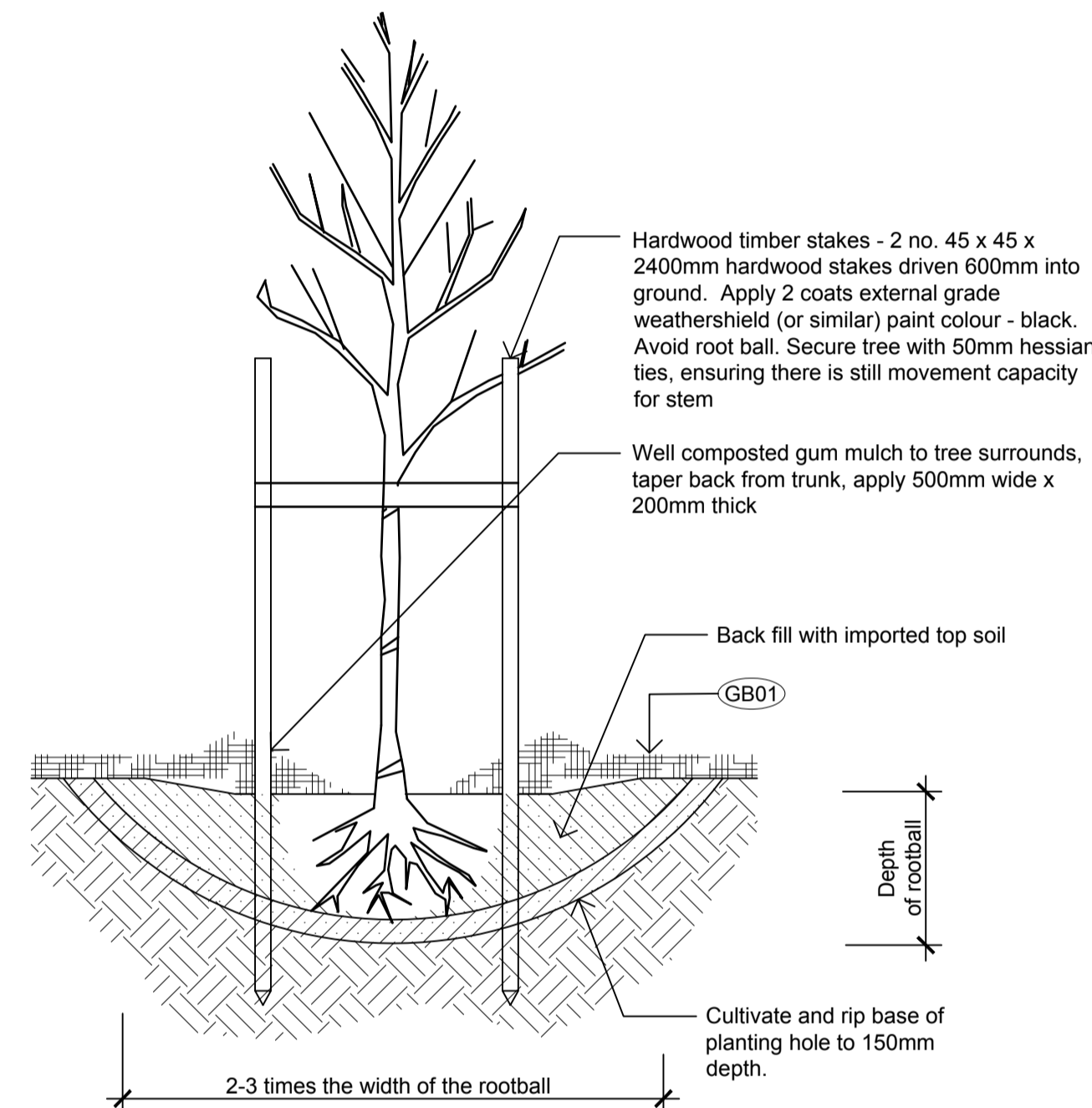
01 HS01: Compacted Gravel Detail
Scale 1:10@A1



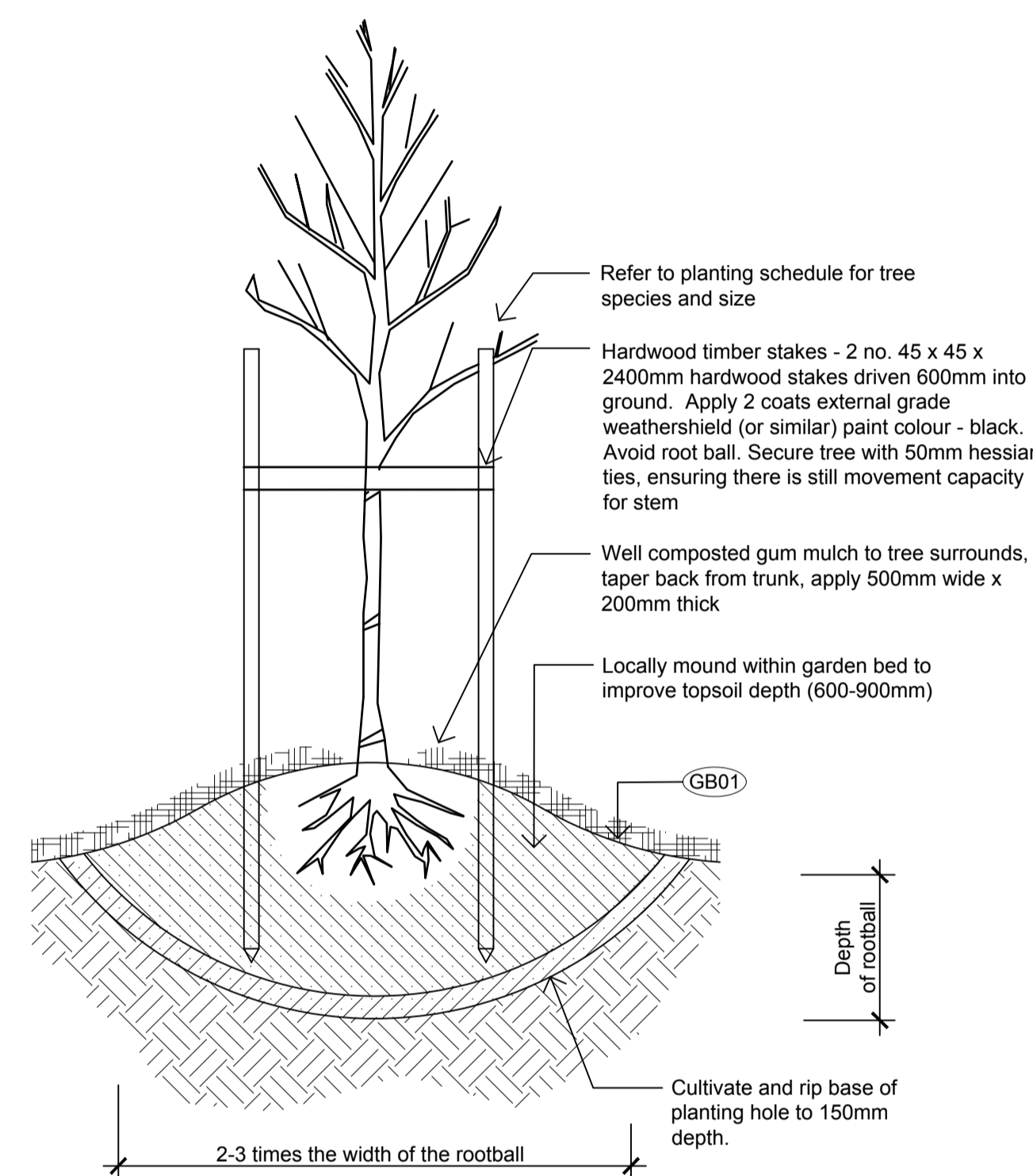
02 GB01: Garden Bed Detail
Scale 1:20@A1



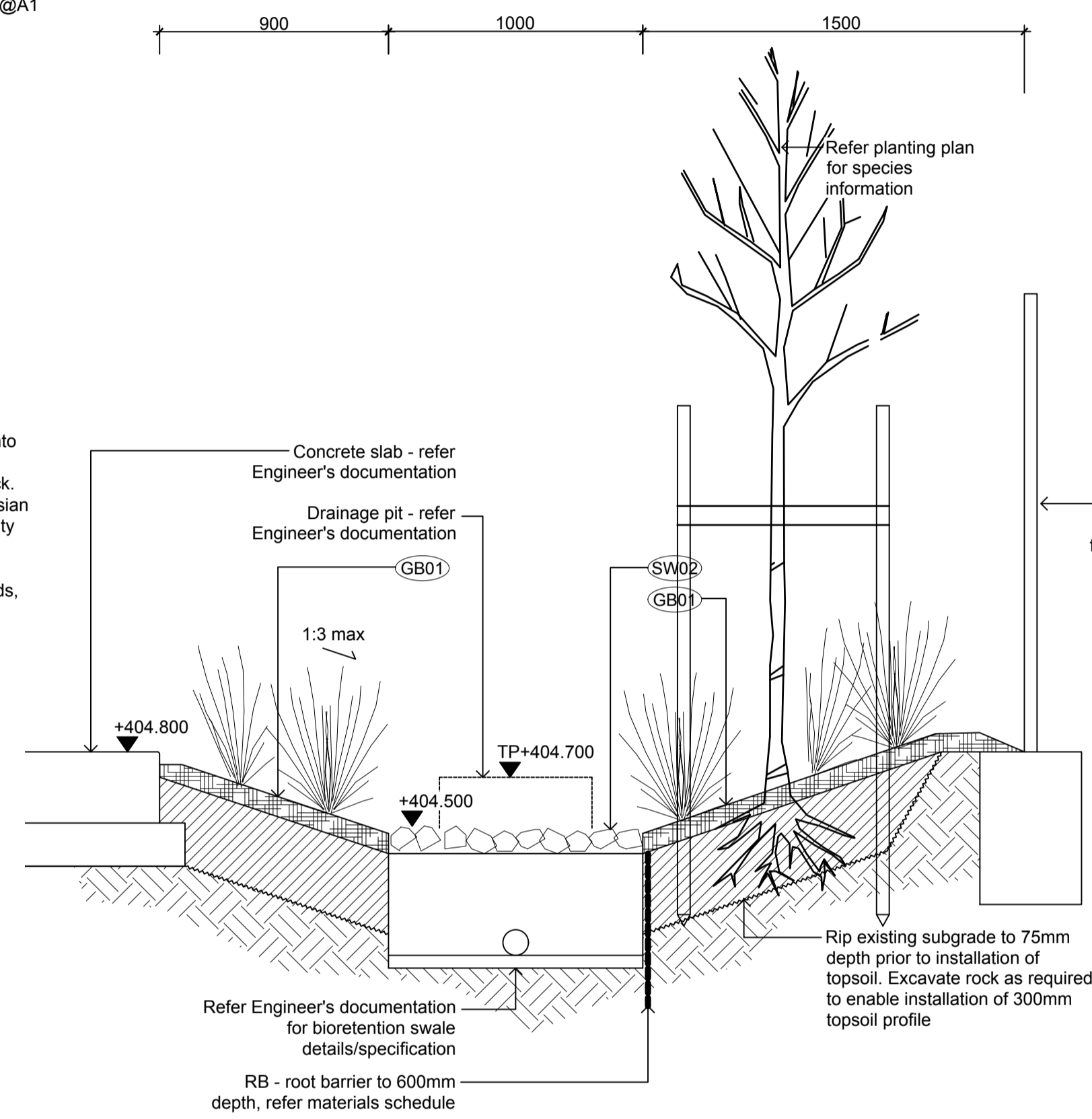
03 SW01: Garden Bed Swale Detail
Scale 1:20@A1



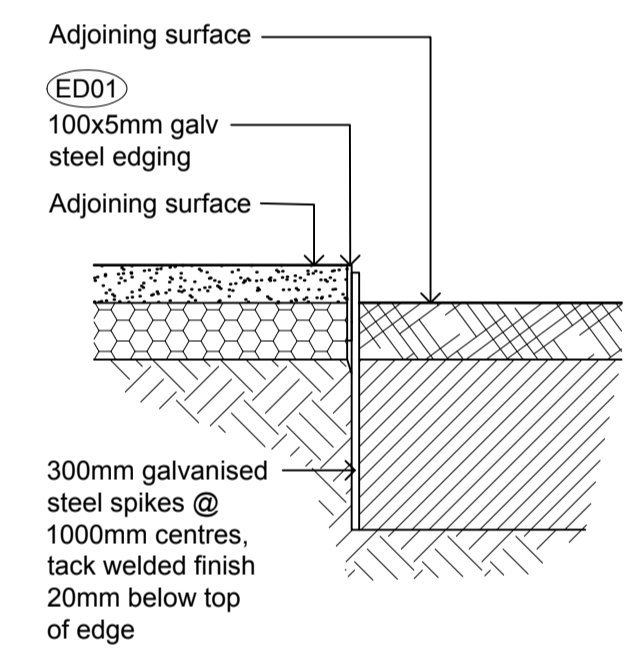
04A T1: Relocated Fruit Tree Detail
Scale 1:20@A1



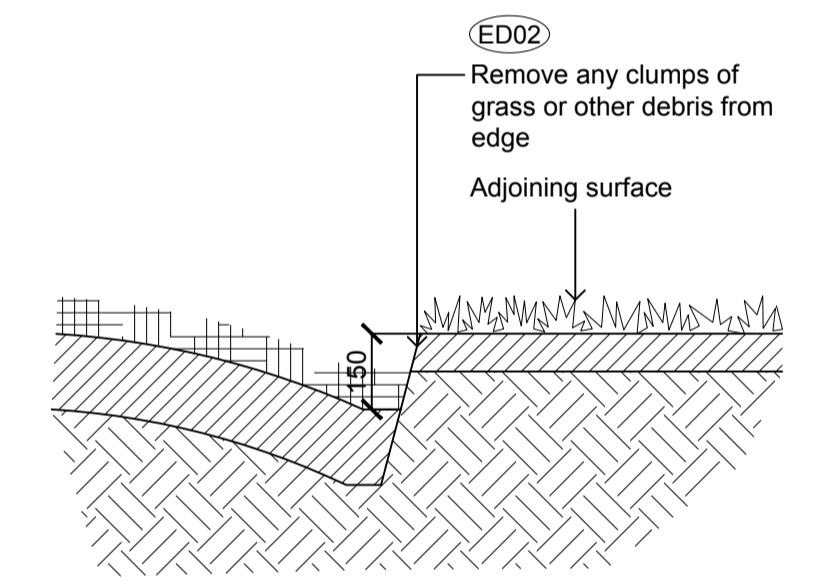
04B TR01: Advanced Tree Detail
Scale 1:20@A1



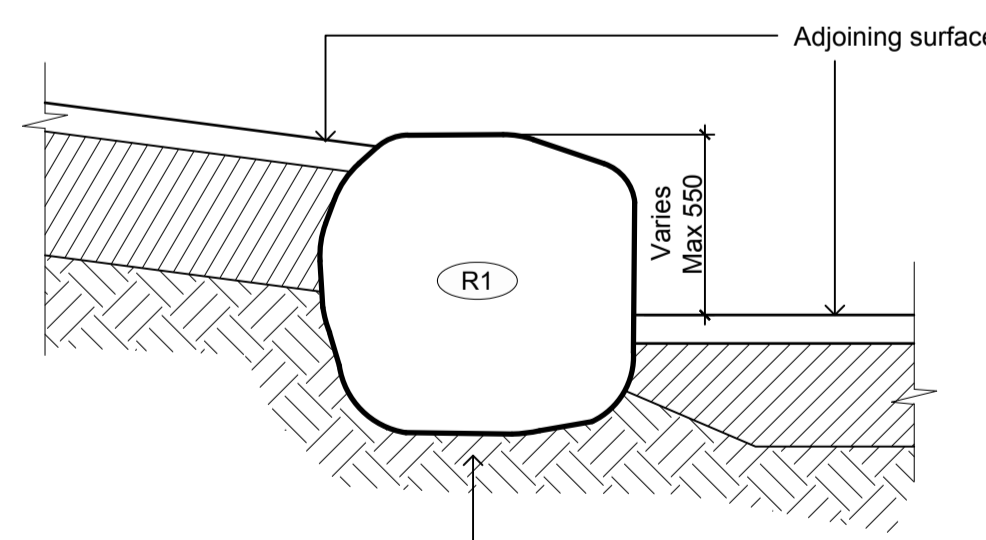
05 SW02: Bioretention Swale Detail
Scale 1:20@A1



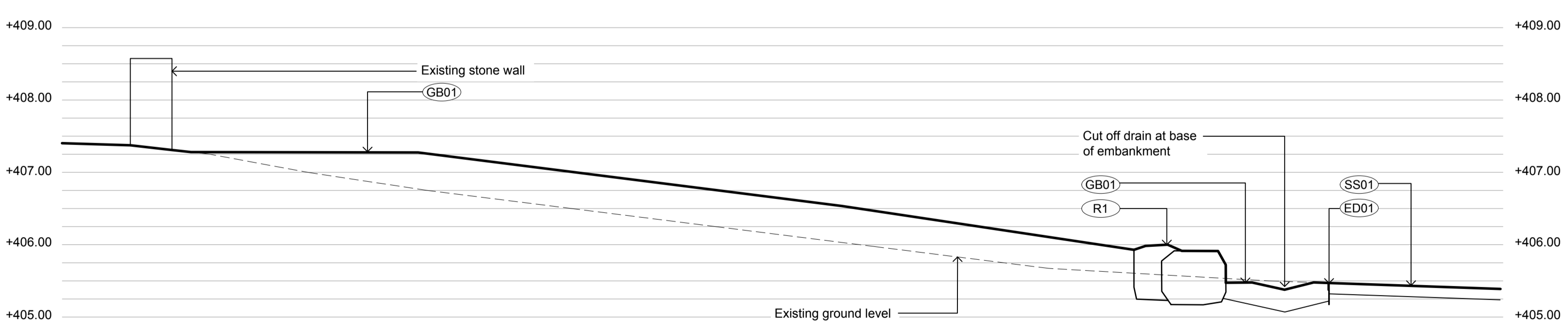
06 ED01: HDG Steel Edging 01 Detail
Scale 1:10@A1



07 ED02: Spade Edging Detail
Scale 1:10@A1



8 R1: Rock Retaining Detail
Scale 1:20@A1



9 SECTION: Embankment
Scale 1:50@A1

| ISSUE | STATUS | DATE | REVIEWED |
|-------|--|------------|----------|
| • | 90% Issue for Review | 21-06-2019 | CT |
| • | Revised Issue for Development Approval | 08-07-2021 | PST |

| ISSUE | STATUS | DATE | REVIEWED |
|-------|--------|------|----------|
| | | | |
| | | | |

L400

SHEET TITLE
Landscape Details

PROJECT
Callington Mill Distillery
CLIENT
Cumulus

DESIGNED
CT/LG
DRAWN
AK/LG

PROJECT NO.
18-99
DATE
June 2019

SCALE
as shown

DO NOT SCALE OFF DRAWINGS



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

| | |
|------------------|------------------------------|
| VOLUME 240022 | FOLIO 1 |
| EDITION 6 | DATE OF ISSUE 08-Jun-2017 |

SEARCH DATE : 09-May-2024
SEARCH TIME : 10.56 AM

DESCRIPTION OF LAND

Town of OATLANDS
Lot 1 on Plan 240022
Derivation : Part of 2A-0R-7Ps Gtd to G. Aitchison.
Prior CT 3666/10

SCHEDULE 1

E71809 TRANSFER to LAKE FREDERICK INN PTY LTD Registered
08-Jun-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

181589 PLAN Lodged by TAS NETWORKS on 14-Jul-2021 BP: 181589
E260663 TRANSFER of EASEMENT Lodged by TAS NETWORKS on
16-Aug-2021 BP: E260663

VOL. FOL.

ANNEXURE TO CERTIFICATE OF TITLE 3666 10



REGISTERED NUMBER

240022

Recorder of Titles

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register

Lengths are in metres

TWN. OATLANDS
 S.P. 9950

