



Public Notice Details

Planning Application Details

Application No	DA2500019
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Property Details

Property Location	1125 Midland Highway Mangalore
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Application Information

Application Type	Discretionary Development Application
Development Category	Outbuilding – Farm Shed/ 4 Bay Tractor Shed
Advertising Commencement Date	7/2/25
Advertising Closing Period	24/2/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

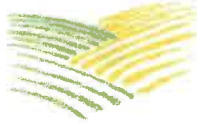
Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

SMC - KEMPTON
RECEIVED
31.01.2025

SOUTHERN
MIDLANDS
COUNCIL



APPLICATION FOR PLANNING PERMIT – USE AND DEVELOPMENT Residential Use

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Owner / s Name

Folko KOOPER & Maureen CRAIG

Postal Address

P O Box 108

Phone No:

0417324546

Brighton

7030

Fax No:

Email address:

Sculpture@koopertasmania.com.au

Applicant Name
(if not owner)

Postal Address:

Phone No:

Fax No:

Email address:

Description of proposed use and/or development:

Address of new use
and development:

1125 midland Hwy , Mangalore

Certificate of Title
No:

Volume No

119147/2

Lot No:

12

Description of
proposed use or
development:

Farm shed (4 bay tractor shed)

ie: New Dwelling / Additions/
Demolition / Shed / Farm Building
/ Carport / Swimming Pool or
detail other etc.

Current use of land
and buildings:

Home

Eg. Are there any existing
buildings on this title?
If yes, what is the main building
used as?

Is the property
Heritage Listed

Please tick ✓ answer

Yes



No



Proposed Material

What are the proposed
external wall materials

concrete brick

What is the proposed roof
material

Corn Iron

What are the proposed
external wall colours

brick colour

What is the proposed roof colour

Galv.

What is the proposed
new floor area m².

60 m²

What is the estimated value of
all the new work proposed:

\$ 50-60k

Please attach any additional information that may be required by Part 6.1 Application Requirements of the Tasmanian Planning Scheme.

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Southern Midlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature);

Applicant Signature



(If not the Owner)

Applicant Name (Please print)

Date

Land Owner(s) Signature



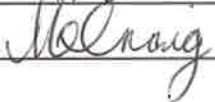
Land Owners Name (please print)

Franko Kooper

Date

30.01.25

Land Owner(s) Signature



Land Owners Name (please print)

Maureen Craig

Date

30.01.25

SMC - KEMPTON
RECEIVED
31.01.2025





FRONT BOUNDARY

MIDLAND HIGHWAY

GRAEME HOLMES & ASSOCIATES

CONSULTING CIVIL & STRUCTURAL ENGINEERS
 PHONE 0497 222 028 EMAIL: sisfred22@gmail.com

G. Holmes 395352057

STRUCTURAL CERTIFICATE

ALL STRUCTURAL ITEMS DETAILED ON THIS DRAWING HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND ARE STRUCTURALLY ADEQUATE TO SUPPORT THE DESIGN LOADS IMPOSED ON THEM.

PROJECT

1125 MIDLAND HIGHWAY,
 MANGALORE
 - PROPOSED TRACTOR/MACHINERY SHED

DRAWING TITLE

SITE PLAN

CLIENT

Kooper

DRAWN

GH

DATE

DEC, 21

SCALE

N.T.S.

JOB NO.

KS1

DRG. NO.

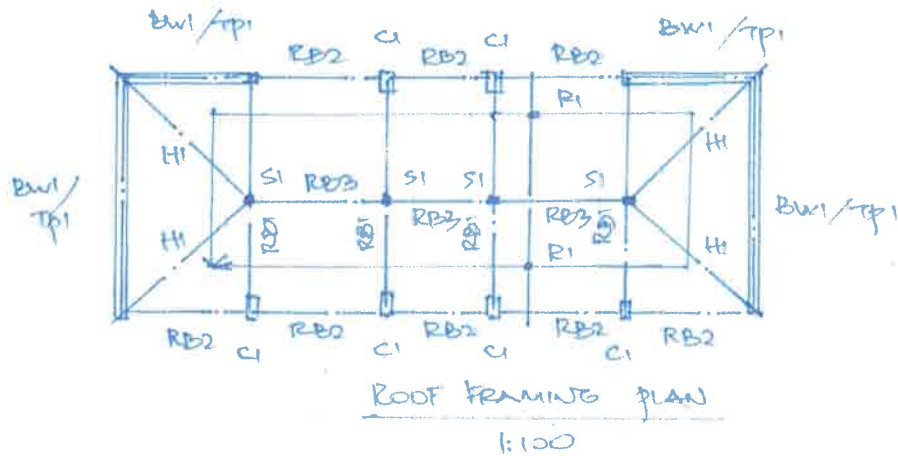
1

AMENDMENT

SITE PLAN

N.T.S.

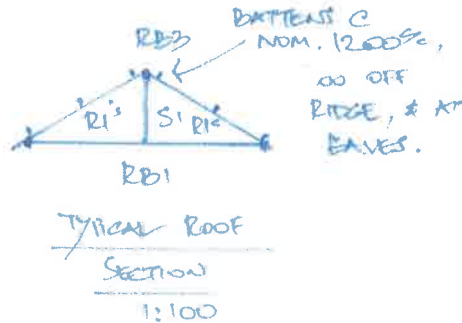
NOTE OTHER
 PROPERTY BOUNDARIES
 ARE EXTERNAL TO THIS
 AERIAL PHOTO.



WIND SPEED N2.

LEGEND

- C1 : 200x120 H/W
- RB1 : 190x100 H/W
- SI : 100x100 H/W
- H1, RB2,3 : 150x55 H/W
- RI : 150x55 H/W @ MAX. 1200 $\frac{1}{2}$
- BATTENS : 100x40 H/W
- BW1 : 110 BRICKWORK FACING TO PARTIALLY REINFORCED & COREFILLED 190 BLOCKWORK
- TP1 : NOM 90x45 TOP PLATE



COREFILLING MIN. 20MPa CONCRETE OR SITE MIXED 1 CEMENT : 4 MAX. 10mm AGGREGATE : 2 CEMENT, WELL RODDED DURING PLACEMENT.



REINFORCE & COREFILL BLOCK CORES AT NOT LESS THAN :

- AT ALL DISCONTINUOUS ENDS OF WALLS
- AT RETENAS & AT OPENINGS
- AT MAX. 1200 $\frac{1}{2}$ ELSEWHERE

N12, CARRIED INTO CONTINUOUS BOND BEAM TO EACH COREFILLED CORE

N12 STARTERS, 300 LAP, 200 ENDED TO SF

1:20

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PROJECT

1125 MIDLAND HIGHWAY,
MANGALORE
- PROPOSED TRACTOR/MACHINERY SHED

DRAWING TITLE

ROOF & WALL FRAMING

CLIENT

KOOPER

DRAWN

GM

DATE

DEC '24

SCALE

1:100, 1:20

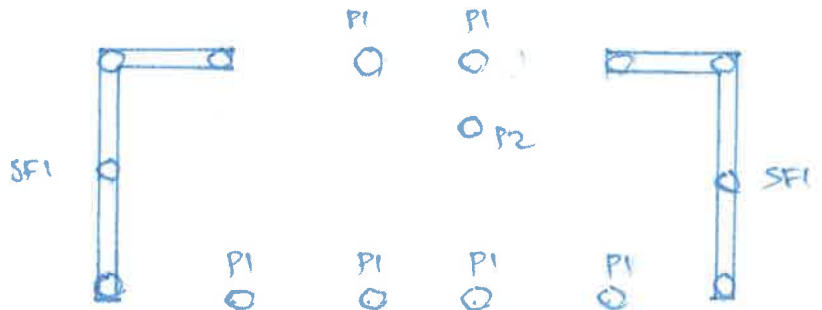
JOB NO.

KS 1

DRG. NO.

4

AMENDMENT



FOOTINGS PLAN
1:100

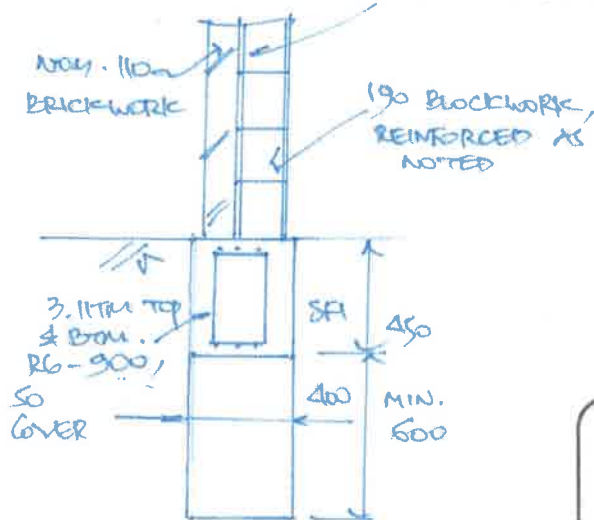
SOIL CLASS M

SF1: 400W. x 450D., 3.11M TOP & BOTTOM, WITH DOONIA. BORED PIERS x MIN. 600D. WHERE SHOWN O, 20MPa CONCRETE

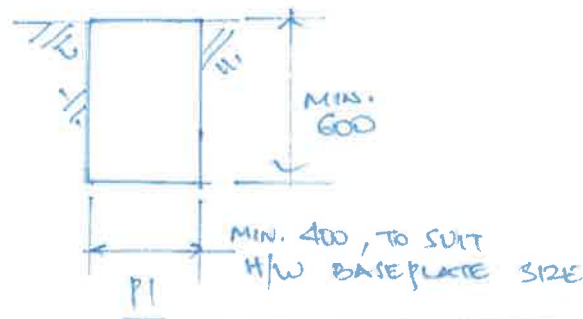
P1: 400DIA. x MIN. 600D. BORED PIERS

P2: NOM. 300 DIA. 600D. FOR INTERNAL FENCE POST.

CONNECT BRICKWORK TO BLOCKWORK WITH GALV. WALL TIES @ MAX. 600² VERT. & HORIZ.



DETAILS 1:20



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PROJECT

1125 MIDLAND HIGHWAY,
MANGALORE

- PROPOSED TRACTOR / MACHINERY SHED

DRAWING TITLE

FOOTING DETAILS

CLIENT

KOOPER

DRAWN

GH

DATE

DEC '22

SCALE

1:100, 1:20

JOB NO.

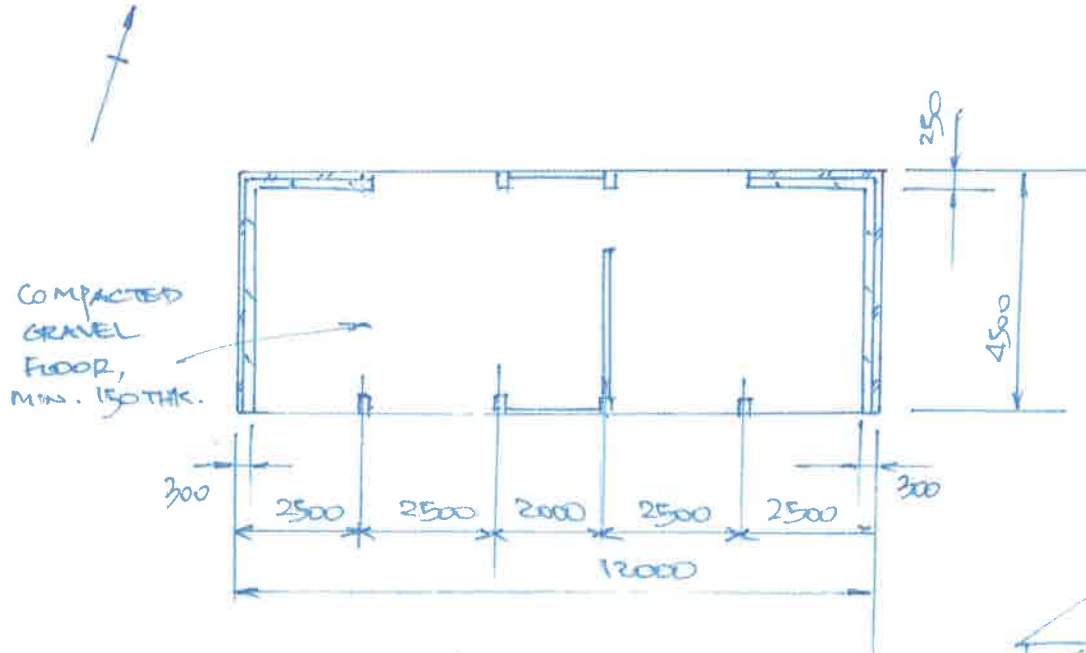
KS 1

DRG. NO.

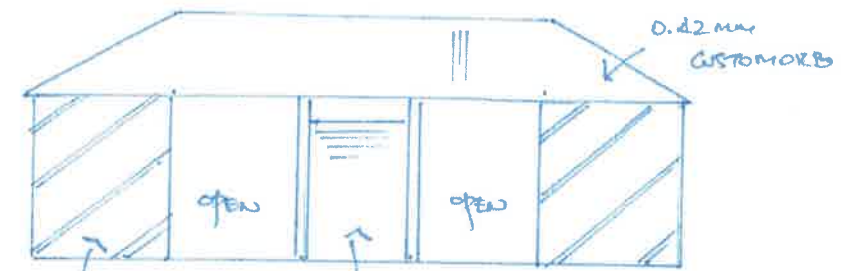
3

AMENDMENT

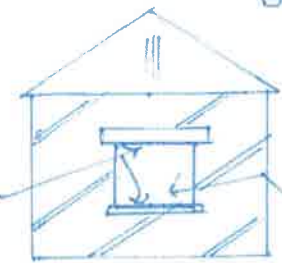
NOTE NO EAVES
GUTTERS



FLOOR PLAN



NORTH ELEVATION



EAST ELEVATION

(WEST SIMILAR,
EXCEPT NO WINDOW)

1212 WINDOW



SOUTH ELEVATION

GALV. CUSTOMORB SHEET ROOF,
HIPPED, TO MATCH EXISTING
ADJACENT BUILDING (~20°)
- MINOR EAVES OVERHANGS TO
MATCH ADJACENT.

PIWE CLADDING
OVER 100x50 H/WOOD
STUD FRAMING

Posts 170x200 H/WOOD
Posts, TYP.

SCALE 1:100

GRAEME HOLMES & ASSOCIATES
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G. Holmes

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PROJECT
 1125 MIDLANDS HIGHWAY,
 MANGALORE
 PROPOSED TRACTOR/MACHINERY
 SHED.

DRAWING TITLE
 PLAN & ELEVATIONS

CLIENT
 KOOPER

DRAWN GH.	DATE DEC '21	SCALE 1:100
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JOB NO. KS1	DRG. NO. 2	AMENDMENT
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SEARCH OF TORRENS TITLE

VOLUME 119147	FOLIO 2
EDITION 5	DATE OF ISSUE 23-Aug-2016

SEARCH DATE : 03-Feb-2025

SEARCH TIME : 02.42 PM

DESCRIPTION OF LAND

Parish of STRANGFORD, Land District of MONMOUTH
 Lot 2 on Sealed Plan 119147
 Derivation : Part of 318 Acres & 486 Acres Gtd to W Kimberley
 & Anor and Part of 612 Acres Gtd to W Kimberley
 Prior CT 231951/1

SCHEDULE 1

C369253 TRANSFER to FOLKO KOOPER and MAUREEN CRAIG
 Registered 16-May-2002 at noon

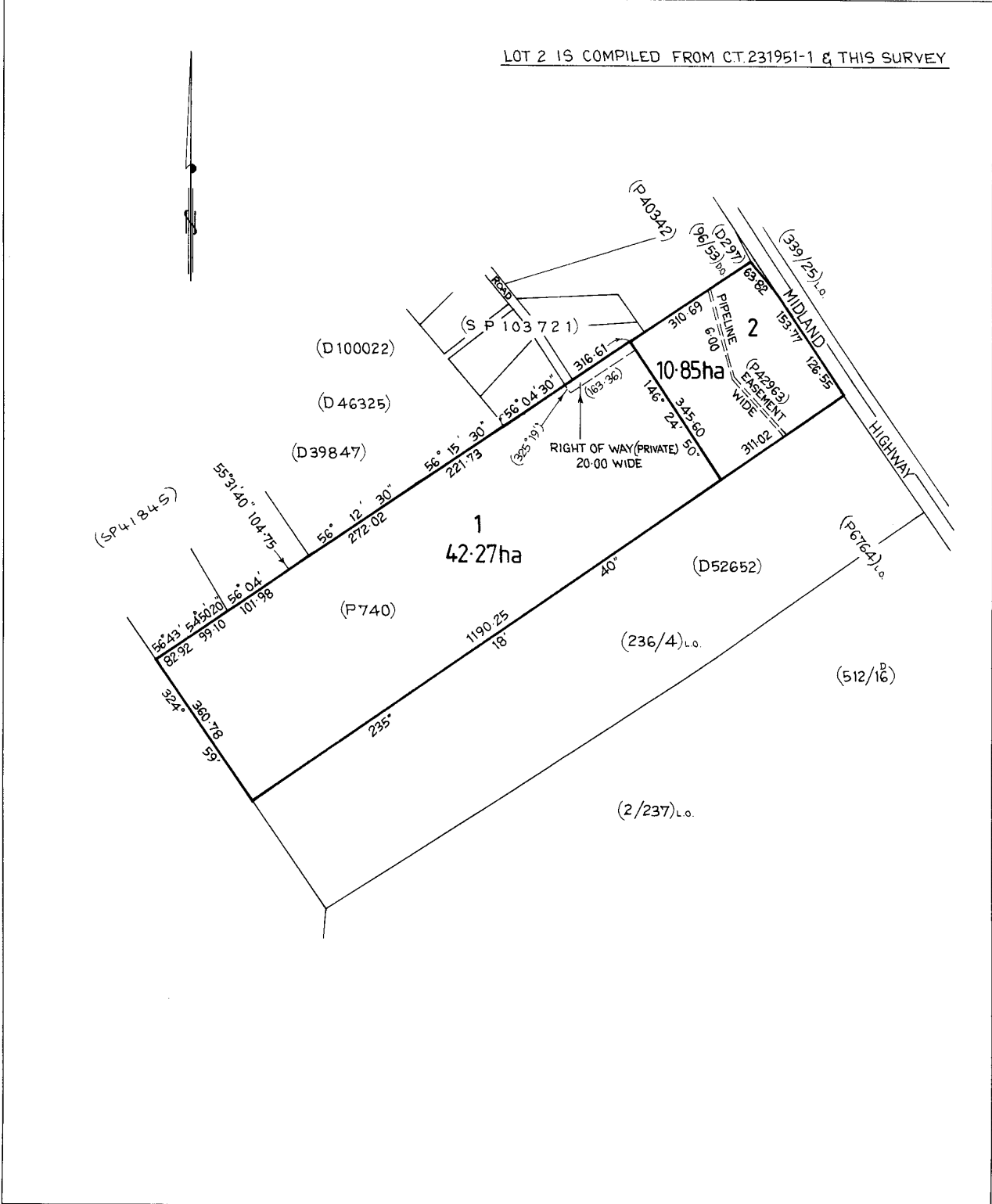
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 119147 EASEMENTS in Schedule of Easements
 SP 119147 FENCING COVENANT in Schedule of Easements
 SP 119147 WATER SUPPLY RESTRICTION
 SP 119147 SEWERAGE AND/OR DRAINAGE RESTRICTION

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER Derek Reginald Smith & Lynne Smith		PLAN OF SURVEY BY SURVEYOR C.M. Terry of PEACOCK DARCEY & ANDERSON PTY. LTD. AUTHORIZED SURVEYORS 127 BATHURST STREET - HOBART. LOCATION LAND DISTRICT OF MONMOUTH PARISH OF STRANGFORD SCALE 1: 7,500 LENGTHS IN METRES		REGISTERED NUMBER SP 119147
FOLIO REFERENCE C.T.231951-1				APPROVED EFFECTIVE FROM - 9 AUG 1995
GRANTEE Part of 318Ac & 486Ac. Gtd. to William Kimberley & Thomas Yardley Lowes & part of Lot 66 612Ac Gtd. to William Kimberley.		Recorder of Titles <i>M. J. ...</i>		
MAPSHEET MUNICIPAL CODE No. 42-125	LAST UPI No. 120 10529	LAST PLAN No. P231951 P.740	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



A-148