



Public Notice Details

Planning Application Details

Application No	DA2500004
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Property Details

Property Location	11 Villeneuve Street Campania
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Application Information

Application Type	Discretionary Development Application
Development Category	Outbuilding
Advertising Commencement Date	14/2/25
Advertising Closing Period	28/2/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

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21/1/25



APPLICATION FOR PLANNING PERMIT DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed use/development:
(Provide details of proposed works and use).

STORAGE SHED

Location of Development:
(If the development includes more than one site, or is over another property include address of both Properties).

11 VILLENEUVE STREET, CAMPANIA

Certificate of Title/s Volume Number/Lot Number:

175724/26

Land Owners Name:

B & D CLARIDGE

Full Name/s or Full Business/Company Name

Applicant's Name:

Phillip Krause (Longview Design)

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: 23 Erskine Street Kempton Tas 7030

Telephone or Mobile: 0428 847 842

Email address: pasakrause@hotmail.com

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details Tax Invoice for application fees to be in the name of: (if different from applicant)

B & D CLARIDGE

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address

claridgegeorge5@gmail.com

ABN

What is the estimated value of all the new work proposed

\$ 12000

Information & Checklist Sheet

DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc.
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices)
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code.
4. Prescribed fees payable to Council

Information

If you provide an email address in this form then the Southern Midlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/_data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf

For Commercial Planning Permit Applications Only

Signage: Yes No
 If yes, attach details: size, location and art work

Business Details:	Existing hours of operation				Proposed hours of new operation			
	Hours	am	to	pm	Hours	am	to	pm
Weekdays								
Sat								
Sun								

Number of existing employees: Number of proposed new employees:

Traffic Movements:	Number of commercial vehicles serving the site at present		Approximate number of commercial vehicles servicing the site in the future	
Number of Car Parking Spaces:	How many car spaces are currently provided		How many new car spaces are proposed	

Is the development to be staged: Please tick ✓ answer
 Yes No

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

- I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
- I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
- The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
- I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
- I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature (If not the Title Owner) <i>PKrause</i>	Applicant Name (please print) Phillip Krause	Date 21/01/2025
Land Owner(s) Signature	Land Owners Name (please print)	Date

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Land Owner(s) Signature

Land Owners Name (please print)

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

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PROPERTY/ PROJECT DETAILS

CLIENT: B & D CLARIDGE
 TITLE REFERENCE: 175724/26
 PID: 3607684
 ADDRESS: 11 VILLENEUVE ST, CAMPANIA TAS 7026
 LOCAL AUTHORITY: SMC
 PLANNING SCHEME: TASMANIAN PLANNING SCHEME-
 ZONE: VILLAGE
 OVERLAYS: N/A
 BUSHFIRE ATTACK LEVEL: LOW
 CORROSION ENVIRONMENT: LOW
 SOIL CLASSIFICATION: M
 WIND CLASSIFICATION: N2
 LOT SIZE: 755m²
 DWELLING FOOTPRINT: 150m²
 STORAGE SHED: 45m²

DRAWING CONTENTS:	
ARCHITECTURAL : PLANNING	
SHEET No	DRAWING TITLE
C01.0	COVER PAGE
C02.0	SITE PLAN
C03.0	FLOOR PLAN/ ELEVATIONS

Note:
 Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant BCA and AS codes. Important Notice for Attention of Owner: The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

DIMENSION NOTE:
 Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setouts and levels be confirmed on site by the Builder/Surveyor/or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

This drawing & design shown is the property of Longview Designs and shall not be copied nor reproduced in part or in whole in any form with out the written permission of Longview Designs and shall be used only by the client of Longview Designs for the project for which it was provided

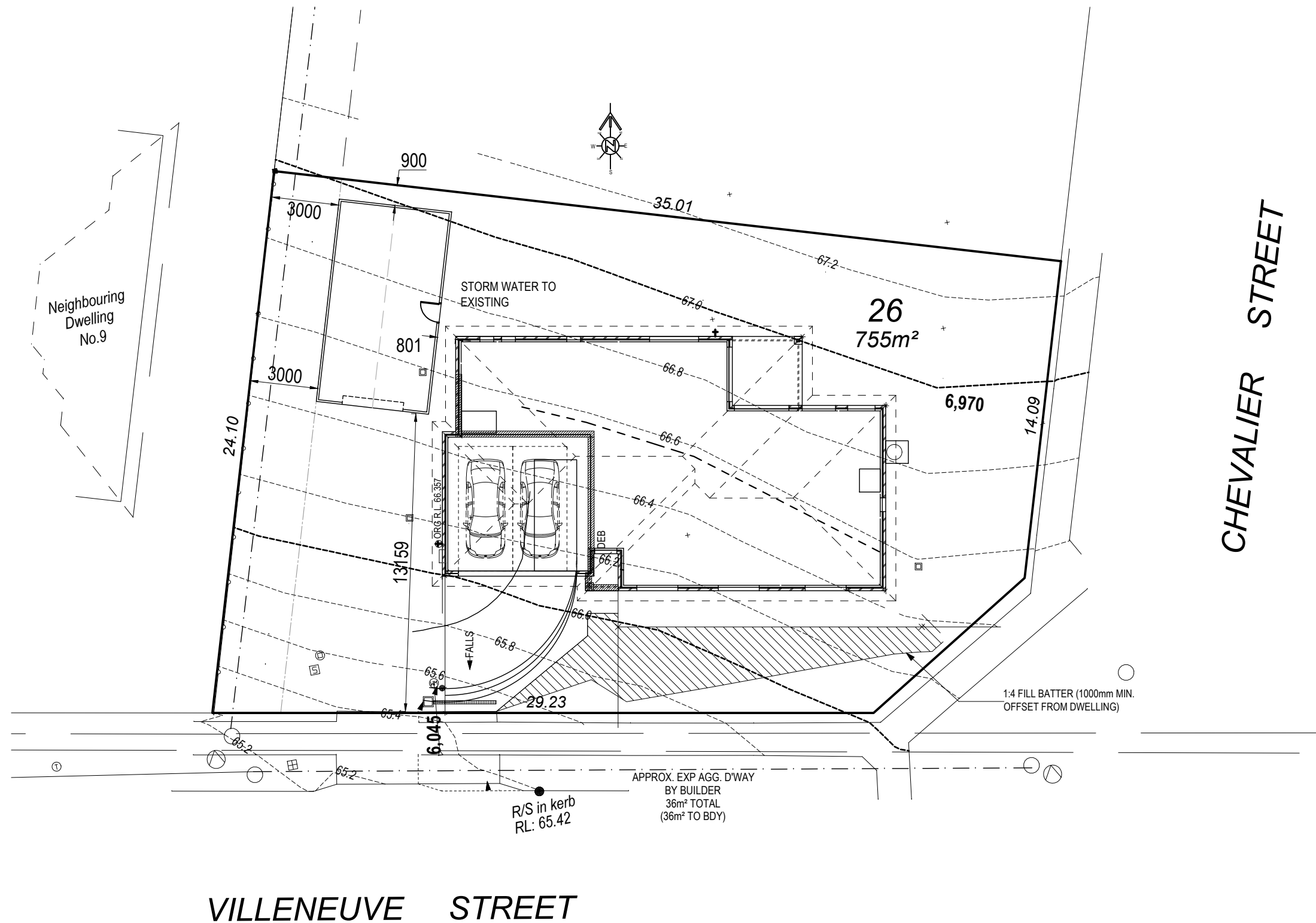


Longview Design & Drafting
 23 ERSKINE STREET, KEMPTON
 Tasmania 7030
 MOB: 0428 847 842
 pasakrause@hotmail.com
 Accreditation No: cc371s

CLIENT NAME:
B & G CLARIDGE
 PROJECT ADDRESS:
11 VILLENEUVE STREET, CAMPANIA TAS 7026
 PROJECT:
STORAGE SHED

DRAWING TITLE:
COVER SHEET

DATE: 5/01/2025	SCALE: N/A	DRAWN BY: PK
REVISION No: R:0	SHEET SIZE: A3	JOB No: 25-002
SHEET No: C01.0		



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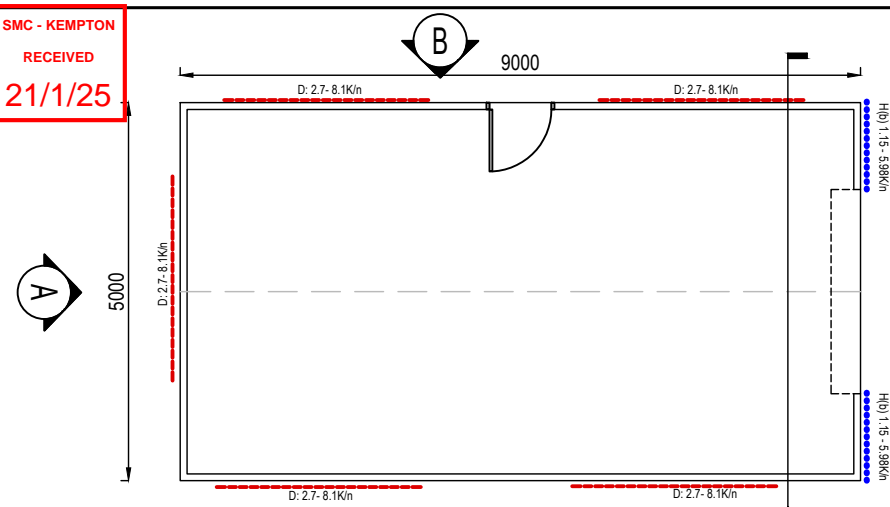
Longview Design & Drafting
23 ERSKINE STREET, KEMPTON
Tasmania 7030
MOB: 0428 847 842
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CLIENT NAME:
B & G CLARIDGE
PROJECT ADDRESS:
11 VILLENEUVE STREET, CAMPANIA TAS 7026
PROJECT:
STORAGE SHED

DRAWING TITLE:
SITE PLAN

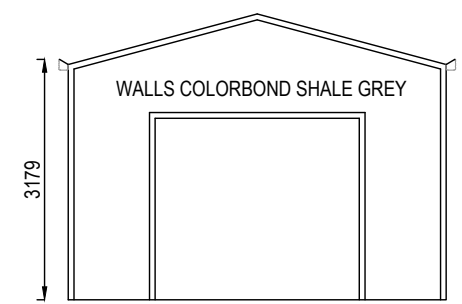
DATE: 5/01/2025	SCALE: 1:200	DRAWN BY: PK
REVISION No: R:0	SHEET SIZE: A3	JOB No: 25-002
SHEET No: C02.0		

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21/1/25

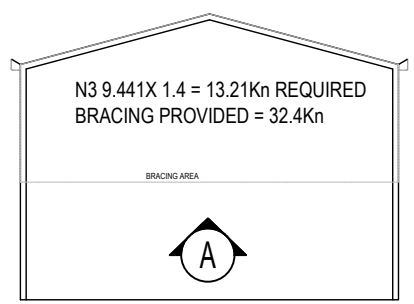


FP FLOOR PLAN
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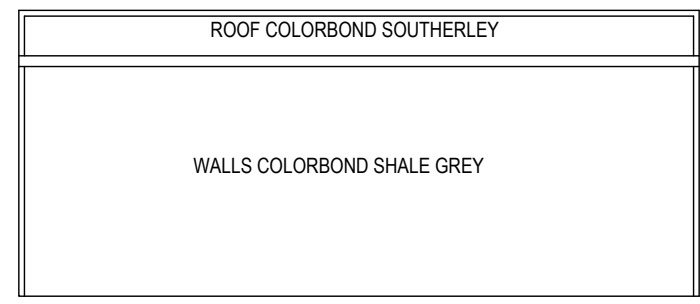
- - - - - TYPE D METAL STRAP BRACING 3K/N PER METRE OF BRACE
 - TYPE H(b) PLYWOOD BRACING 5.2K/N PER METRE OF BRACE
 - TYPE H(a) PLYWOOD BRACING 5.6K/N PER METRE OF BRACE WITH TIE DOWN RODS
- BRACING & TIE DOWN TO AS 1684.2 SECTION 8 & 9



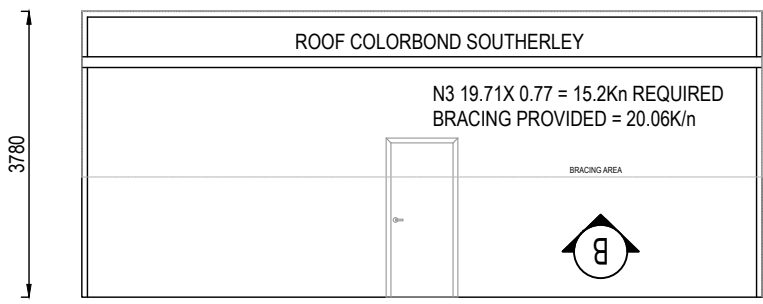
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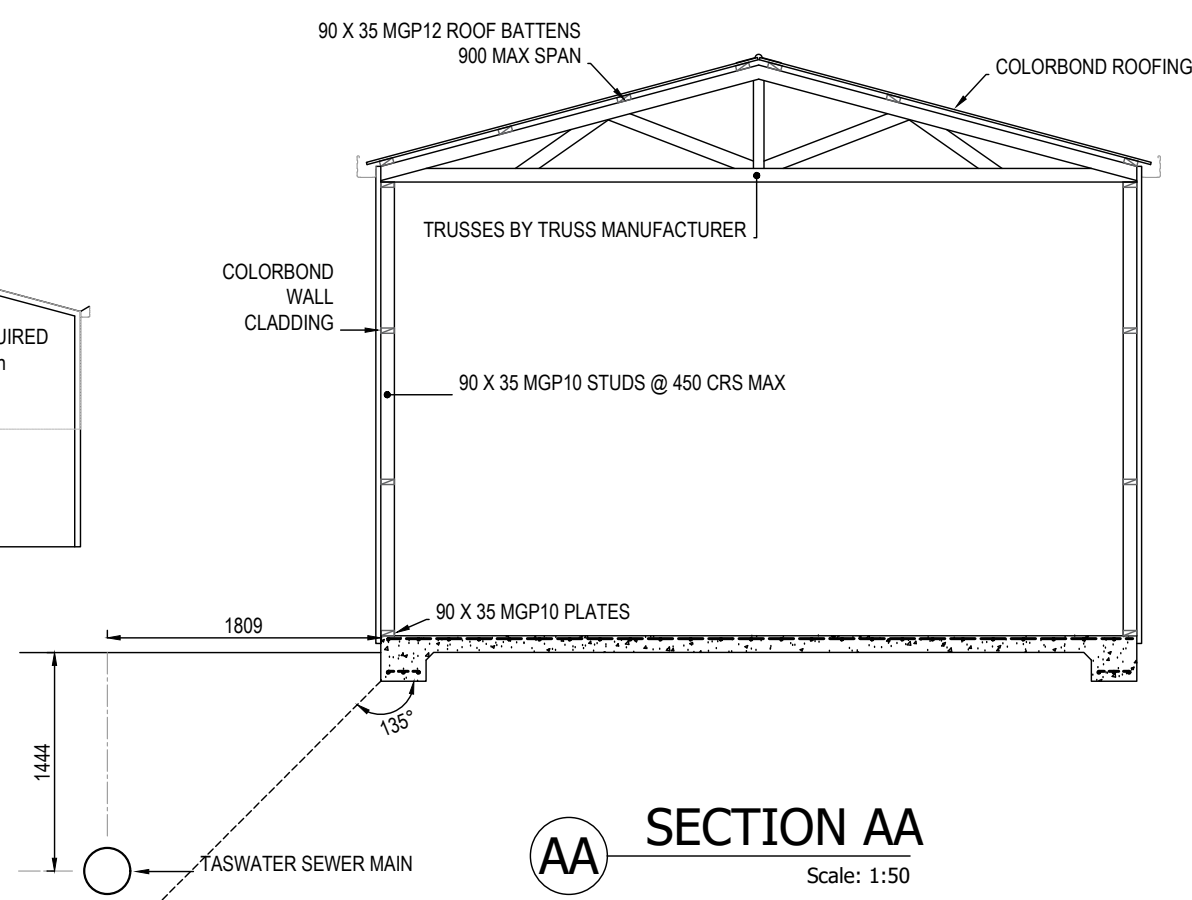
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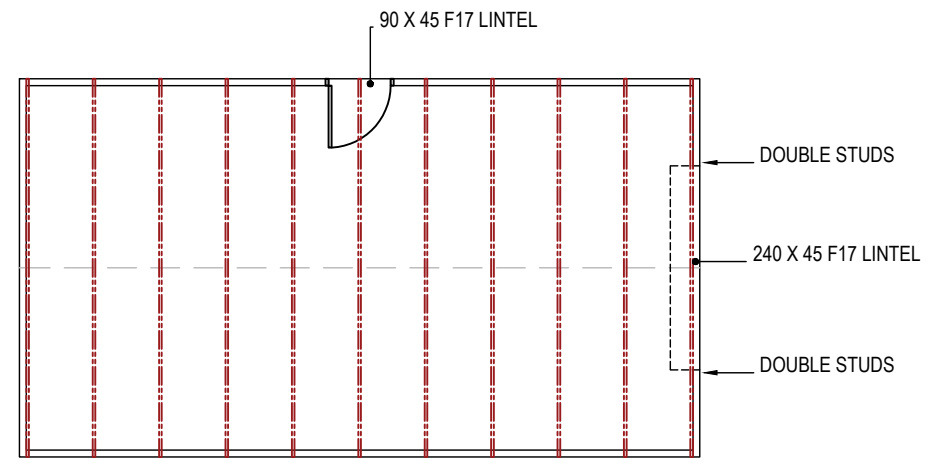
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Scale: 1:100



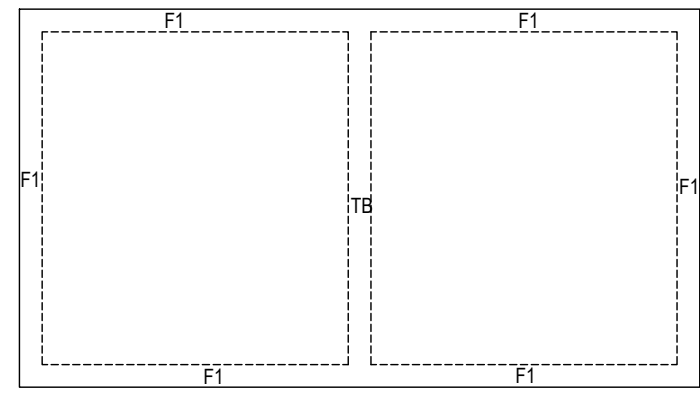
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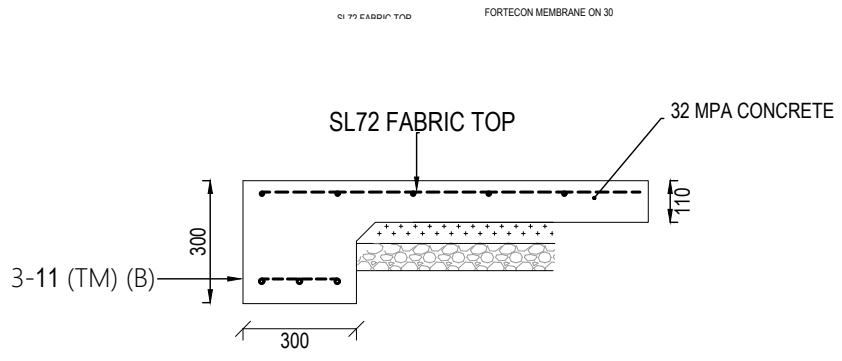
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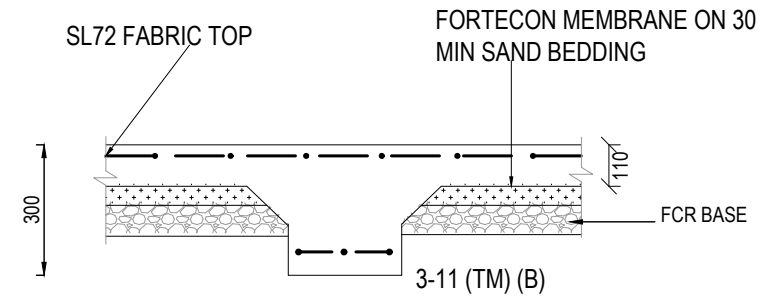
T TRUSS LAYOUT/ LINTELS
Scale: 1:100



S SLAB LAYOUT
Scale: 1:100



F1



TB

DIMENSION NOTE:
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CLIENT NAME:
B & G CLARIDGE
PROJECT ADDRESS:
11 VILLENEUVE STREET, CAMPANIA TAS 7026
PROJECT:
STORAGE SHED

DRAWING TITLE:
FLOOR PLAN/ ELEVATIONS

DATE: 5/01/2025	SCALE: 1:100 1:50 1:20	DRAWN BY: PK
REVISION No: R:0	SHEET SIZE: A3	JOB No: 25-002
		SHEET No: C03.0

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 175724

PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 26-33, 35-39 & 100 are each subject to a right of drainage in gross (in favour of Southern Midlands Council) over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE passing through such lot on the plan

Lots 26-33, 35-39 & 100 are each subject to a pipeline & services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 100 is subject to a right of carriageway (appurtenant to lot 2 on Sealed Plan 159788 & lot 3 on Sealed Plan 162016) over the land marked RIGHT OF WAY "A" (PRIVATE) 18.00 WIDE passing through that lot on the plan

FENCING PROVISION

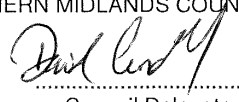
In respect to the lots on the plan the vendor (Rodney Eric Scaife, Judith Nancy Scaife, Andrew Robert Glover and Kathryn Elizabeth Glover) shall not be required to fence

Lot 100 is burdened by the restrictive covenant as created by
SP159788, SP162016 & SP170362.

COVENANTS

The owners of lots 25-39 on the plan covenant with Rodney Eric Scaife, Judith Nancy Scaife, Andrew Robert Glover and Kathryn Elizabeth Glover (the subdivider) and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations-

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: R E SCAIFE & OTHERS FOLIO REF: 172496/100 SOLICITOR & REFERENCE: TREMAYNE FAY & RHEINBERGER	PLAN SEALED BY: SOUTHERN MIDLANDS COUNCIL DATE: 30-07-2018 SA 2010/37 REF NO.
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	


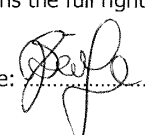
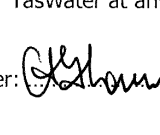

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP 175724
SUBDIVIDER: R E SCAIFE & OTHERS FOLIO REFERENCE: 172496/100	

1. Not to, without the consent of Council, erect or permit to be erected or permit to remain on such lot any advertising sign of any type whatsoever provided that a sign indicating that a lot is for sale will be permitted for a limited period
2. Not to use reflective materials in the construction of any dwelling, shed or outbuilding on such lot
3. Not to construct a residential building on such lot using materials other than general brick, weatherboard, finished rendered surface or masonry construction, but the use of other timber or non-masonry materials used as in-fill panels will be permitted provided that these latter materials do not exceed 30 percent of the total external wall area
4. Not to use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on such lot
5. Not to construct a dwelling on such lot that has a minimum floor area of less than 90 square metres which area does not include patios, garages or carports
6. Not to permit vehicles with a gross vehicle mass greater than 10 tonne to be parked, stored or allowed to remain on such lot for a period in excess of six hours
7. Not to store or allow to remain on such lot any construction plant and equipment, transport equipment or salvage of building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on the lot
8. Not to bring onto such lot any transportable house or a house relocated from another place
9. Not to place or permit to remain on such lot any water tank which has any external metal finish
10. Not to place or permit to remain on such lot any caravan, shed or other structure (excluding dwellings) to be used as a permanent residence provided that a caravan, shed or other structure may be utilised for a period not exceeding one year during the construction of a permanent dwelling or residence
11. Not to, without the consent of Council, conduct any trade or business on such lot provided that the letting for residential purposes of the whole of any dwelling erected on the lot will not be in contravention of this stipulation

INTERPRETATION

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Limited its successors and assigns

"Pipeline and Services Easement" means the full right and liberty for TasWater at any time to:

R E Scaife:  J N Scaife:  A R Glover:  K E Glover: 

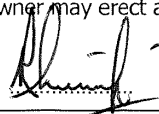

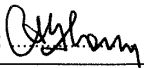
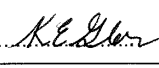
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 175724
SUBDIVIDER: R E SCAIFE & OTHERS FOLIO REFERENCE: 172496/100	

- (1) Enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) Investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) Install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) Remove and replace the Infrastructure;
- (5) Run and pass sewage and water through and along the Infrastructure
- (6) Do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - a) without doing unnecessary damage to the Easement Land; and
 - b) leaving the Easement Land in a clean and tidy condition; and
- (7) If the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) Use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - a) Alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - b) Install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - c) Remove any thing that supports, protects or covers and Infrastructure on or in the Easement Land;
 - d) Do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - e) In any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - f) Permit or allow any action which the Owner must not do or acquiesce in that action
- (2) TasWater is not required to fence any part of the Easement Land
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot

R E Scaife:  J N Scaife:  A R Glover:  K E Glover: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP 175724
SUBDIVIDER: R E SCAIFE & OTHERS FOLIO REFERENCE: 172496/100	

- (4) The owner may erect a gate across any part of the Easement Land subject to these conditions:
- a) The Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - b) If the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- a) Reinststate the ground level of the Easement Land; or
 - b) Remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - c) Replace anything that supported, protected or covered the Infrastructure

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:


- a) Sewer pipes and water pipes and associated valves;
- b) Telemetry and monitoring devices;
- c) Inspection and access pits;
- d) Power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- e) Markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or Infrastructure;
- f) Anything responsibly required the support, protect or cover any of the Infrastructure;
- g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- h) Where the context permits, any part of the Infrastructure

R E Scaife:  J N Scaife:  A R Glover:  K E Glover: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 175724
SUBDIVIDER: R E SCAIFE & OTHERS FOLIO REFERENCE: 172496/100	

Signed by RODNEY ERIC SCAIFE in the presence of-)
 Witness: J Glover)
 Print Full Name: Julia Rose Glover)
 Postal Address: 15 Gregson St,)
 Risdon Tas 7017)

R



Signed by JUDITH NANCY SCAIFE in the presence of-)
 Witness: J Glover)
 Print Full Name: Julia Rose Glover)
 Postal Address: 15 Gregson St,)
 Risdon Tas 7017)



Signed by ANDREW ROBERT GLOVER in the presence of-)
 Witness: J Glover)
 Print Full Name: Julia Rose Glover)
 Postal Address: 15 Gregson St,)
 Risdon Tas 7017)

A

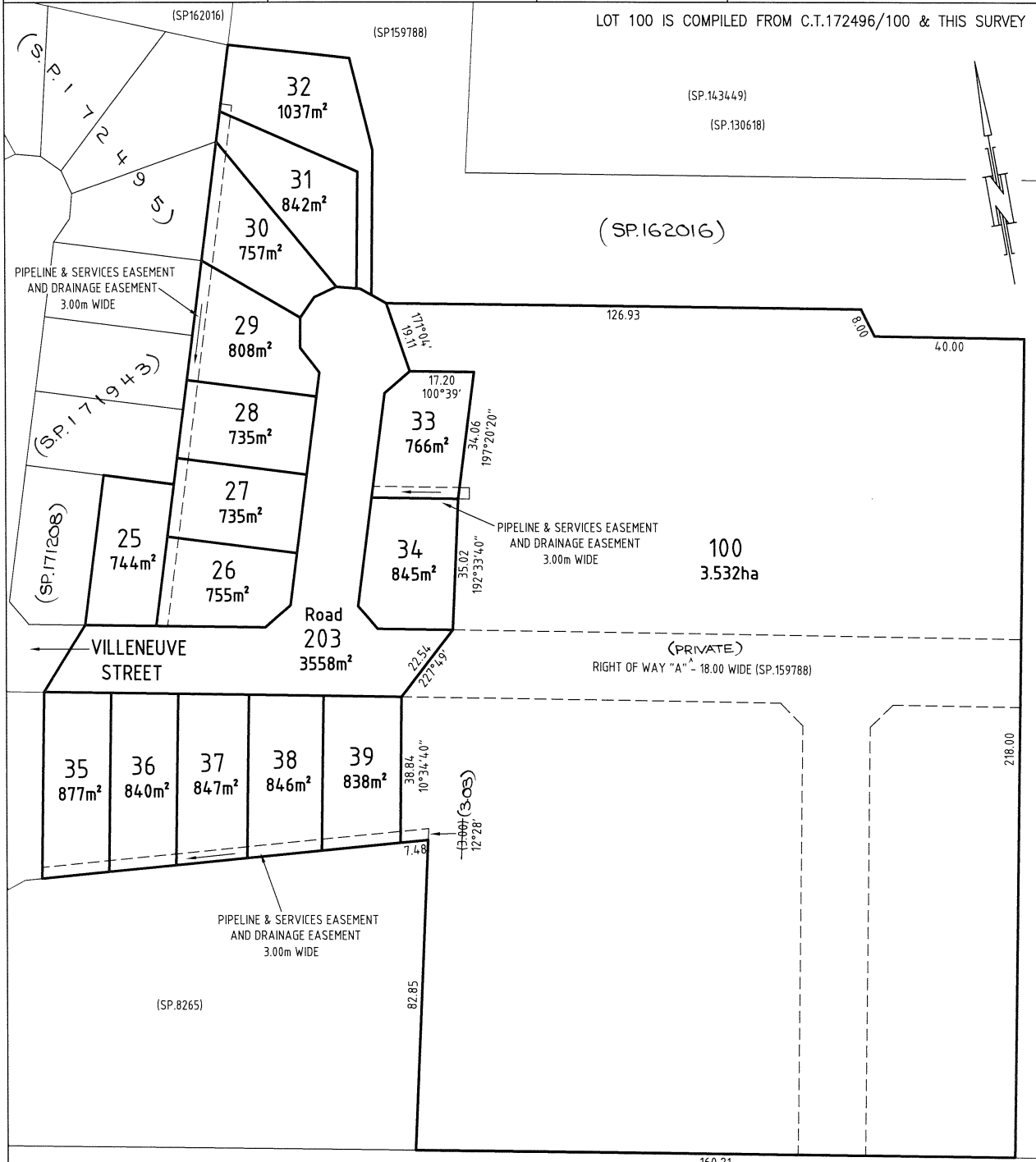

Signed by KATHRYN ELIZABETH GLOVER in the presence of-)
 Witness: J Glover)
 Print Full Name: Julia Rose Glover)
 Postal Address: 15 Gregson St,)
 Risdon Tas 7017)

K


NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

OWNER: RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER, KATHRYN ELIZABETH GLOVER	PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON & BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796	REGISTERED NUMBER SP175724
FOLIO REFERENCE: C.T.172496/100		APPROVED EFFECTIVE FROM - 4 SEP 2018 <i>Alice Kawa</i> Recorder of Titles
GRANTEE: PART OF LOT 13 (153A-3R-36Ps) (CAMPANIA ESTATE) GRANTED TO H.J.PAUL	LOCATION LAND DISTRICT OF MONMOUTH PARISH OF STAFFA	
	SCALE 1: 1000 LENGTHS IN METRES	

MAPSHEET MUNICIPAL CODE No. 125 (5227)	LAST UPI No.	LAST PLAN No. P.172496	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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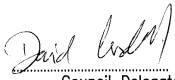




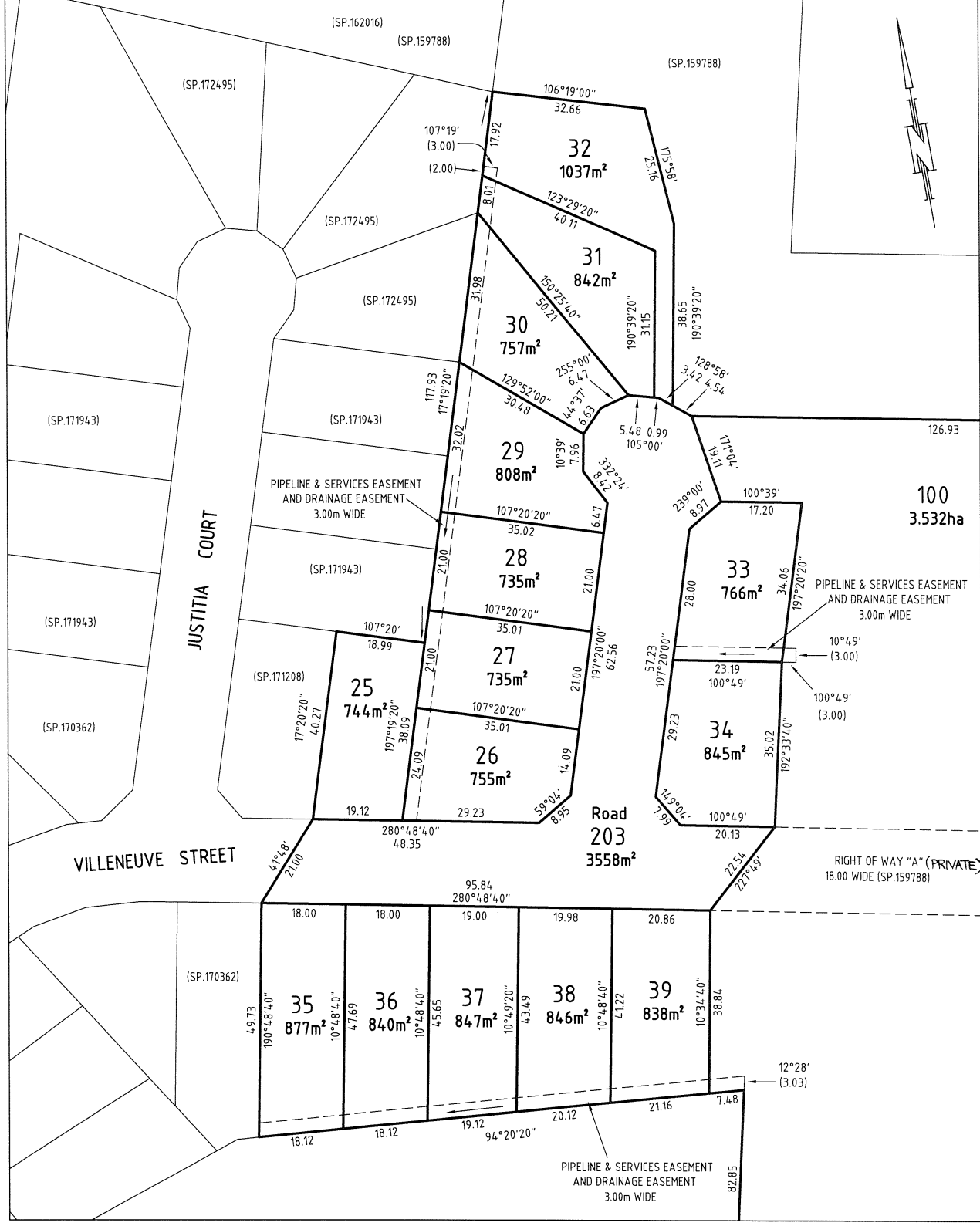
Dave Lee 30-07-2018
 COUNCIL DELEGATE DATE

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 1 SHEETS</p>	<p>OWNER RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE ANDREW ROBERT GLOVER & KATHRYN ELIZABETH GLOVER FOLIO REFERENCE C.T.172496/100 SCALE 1: 750 LENGTHS IN METRES</p>	<p>Registered Number SP 175724</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate 30-07-2018 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET  Registered Land Surveyor 6-6-2018 Date</p>	<p>APPROVED EFFECTIVE FROM - 4 SEP 2018  Recorder of Titles</p>



SMC - KEMPTON
RECEIVED
21/1/25



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com



- Fire Plug
- Water Connection - DN25mm PE PN16
- Water Stop Valve
- Property Connection
- Fire Hydrant

As constructed information shown on this plan located by field survey dated 19-02-2018. Surface features & inverts located as found. Position of underground services not visible at the time of survey have been positioned based on the located surface features plus the advice from the civil contractor.

Registered Surveyor Date: 11-05-2018

As-constructed Plan

FOR: TASWATER
LOCATION: REEVE STREET, CAMPANIA

Reference:	SCAIR06 10436-04
Date:	11-05-2018
Scale:	1:750 (A3)

SMC - KEMPTON
RECEIVED
21/1/25



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com



- Sewer Manhole
- Sewer Customer Conn - DN100mm SN10 PVC

As constructed information shown on this plan located by field survey dated 19-02-2018. Surface features & inverts located as found. Position of underground services not visible at the time of survey have been positioned based on the located surface features plus the advice from the civil contractor

Registered Surveyor  Date: 11-05-2018

As-constructed Plan

FOR: TASWATER
LOCATION: REEVE STREET, CAMPANIA

Reference:	SCAIR06 10436-04
Date:	11-05-2018
Scale:	1:750 (A3)

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- Stormwater Manhole
- Stormwater House Conn
- Side Entry Pit
- Back of Kerb
- Back of Footpath
- Edge of Road

As constructed information shown on this plan located by field survey dated 19-02-2018. Surface features & inverts located as found. Position of underground services not visible at the time of survey have been positioned based on the located surface features plus the advice from the civil contractor.

Registered Surveyor

Date: 11-05-2018

As-constructed Plan

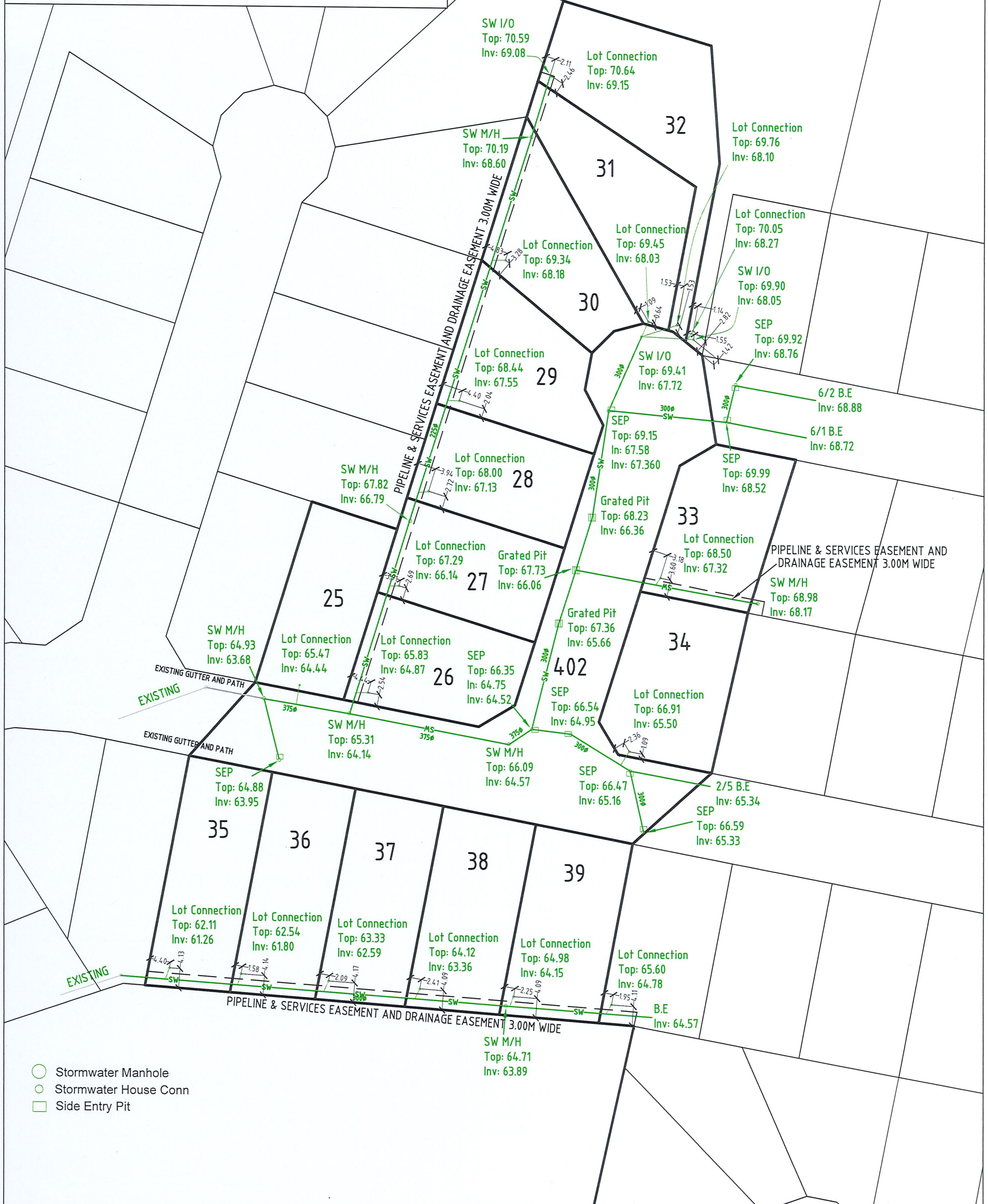
FOR: SOUTHERN MIDLANDS COUNCIL
LOCATION: REEVE STREET, CAMPANIA

Reference:	SCAIR06 10436-04
Date:	11-05-2018
Scale:	1:750 (A3)

SMC - KEMPTON
RECEIVED
21/1/25



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com



- Stormwater Manhole
- Stormwater House Conn
- Side Entry Pit

As constructed information shown on this plan located by field survey dated 19-02-2018. Surface features & inverts located as found. Position of underground services not visible at the time of survey have been positioned based on the located surface features plus the advice from the civil contractor.

Registered Surveyor Date: 11-05-2018

As-constructed Plan

FOR: SOUTHERN MIDLANDS COUNCIL
LOCATION: REEVE STREET, CAMPANIA

Reference:	SCAIR06 10436-04
Date:	11-05-2018
Scale:	1:750 (A3)

SEARCH OF TORRENS TITLE

VOLUME 175724	FOLIO 26
EDITION 4	DATE OF ISSUE 12-Jul-2023

SEARCH DATE : 07-Jan-2025

SEARCH TIME : 12.39 PM

DESCRIPTION OF LAND

Parish of STAFFA Land District of MONMOUTH
 Lot 26 on Sealed Plan 175724
 Derivation : Part of Lot 13, 153A-3R-36P (Campania Estate) Gtd.
 to H.J. Paul
 Prior CT 172496/100

SCHEDULE 1

M878434 & E352490 GEORGE EDWARD CLARIDGE and BETHANY ROSE
 CLARIDGE Registered 12-Jul-2023 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP175724 EASEMENTS in Schedule of Easements
 SP175724 COVENANTS in Schedule of Easements
 SP175724 FENCING PROVISION in Schedule of Easements
 SP159788, SP162016 & SP170362 COVENANTS in Schedule of
 Easements
 SP159788, SP162016 & SP170362 FENCING PROVISION in Schedule of
 Easements
 SP 15390 FENCING COVENANT in Schedule of Easements
 E352491 MORTGAGE to B&E Ltd Registered 12-Jul-2023 at 12.02
 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations